

LEGISLATIVE SUMMARY SHEET

Tracking No. 0262-19

DATE: August 29, 2019

TITLE OF RESOLUTION: A PROPOSED NAVAJO NATION COUNCIL RESOLUTION; AN ACTION RELATING TO BUDGET AND FINANCE COMMITTEE, RESOURCES AND DEVELOPMENT COMMITTEE AND NAABIK'ÍYÁTI' COMMITTEE AND NAVAJO NATION COUNCIL; ALLOCATING \$3,000,000 FROM THE SÍHASIN FUND TO THE DIVISION OF COMMUNITY DEVELOPMENT ON BEHALF OF THE TONALEA CHAPTER AND APPROVING AND ADOPTING THE TONALEA CHAPTER COMMUNITY BUILDING REPLACEMENT FUND EXPENDITURE PLAN PURSUANT 12 N.N.C §§ 2501 – 2508

PURPOSE: This resolution, if approved, will approve \$3,000,000.00 from the Síhasin Fund to the Division of Community Development on behalf of the Tonalea Chapter to construct the Tonalea Chapter Community Building Replacement and approve and adopts the Tonalea Chapter Community Building Replacement Expenditure Plan.

This written summary does not address recommended amendments as may be provided by the standing committee. The Office of Legislative Counsel requests each committee member to review the proposed resolution in detail.

5-DAY BILL HOLD PERIOD: None
Website Posting Time/Date: 5:05pm 8-30-19
Posting End Date: 9-4-19
Eligible for Action: 9-5-19

Budget & Finance Committee
Thence
Resources & Development Committee
Thence
Naabik'iyáti' Committee
Thence
Navajo Nation Council

PROPOSED NAVAJO NATION COUNCIL RESOLUTION
24th NAVAJO NATION COUNCIL – First Year, 2019

INTRODUCED BY



(Prime Sponsor)

TRACKING NO. 0262-19

AN ACTION

RELATING TO BUDGET AND FINANCE COMMITTEE, RESOURCES AND
DEVELOPMENT COMMITTEE AND NAABIK'ÍYÁTI' COMMITTEE AND
NAVAJO NATION COUNCIL; ALLOCATING \$3,000,000 FROM THE SÍHASIN
FUND TO THE DIVISION OF COMMUNITY DEVELOPMENT ON BEHALF OF
THE TONALEA CHAPTER AND APPROVING AND ADOPTING THE TONALEA
CHAPTER COMMUNITY BUILDING REPLACEMENT FUND EXPENDITURE
PLAN PURSUANT 12 N.N.C §§ 2501 – 2508

BE IT ENACTED:

Section One. Authority

- A. The Navajo Nation Council is the governing body of the Navajo Nation. 2 N.N.C. § 102 (A).
- B. The Naabik'iyati' Committee of the Navajo Nation Council is empowered to review all proposed legislation which requires final action by the Navajo Nation Council. 2 N.N.C. §164(A)(9).
- C. The Budget and Finance Committee of the Navajo Nation Council is empowered to review and recommend to the Navajo Nation Council the budgeting, appropriation, investment, and management of all funds. 2 N.N.C. § 301 (B)(2).

1 D. The Resources and Development Committee of the Navajo Nation Council has
2 oversight of the chapters of the Navajo Nation. 2 N.N.C. §501 (C)(1).

3 E. The Navajo Nation Code provides the purpose of the Navajo Nation Sihasin Fund
4 (“Sihasin Fund”) is as follows:

5 § 2502 Purpose

6 A. The purposes of this Fund are to provide financial support and/or
7 financing for:

8 1. The planning and development of economic development
9 and regional infrastructure supporting economic
10 development, and community development, including such
11 infrastructure as, but not limited to, housing, commercial
12 and government buildings, waterline, solid waste
13 management development, powerline projects, and
14 transportation and communication systems, within the
15 Navajo Nation; and

16 2. Education opportunities for members of the Navajo
17 Nation.

18 B. For the Purpose in § 2502(A)(1), Fund expenditures for
19 infrastructure shall not be limited by 12 NNC § 1310(F) or
20 TCDCJY-77-99.

21 C. Leveraging the Fund by way of guaranteeing loans, match
22 funding, direct funding in part, and other weighted uses of the
23 Fund, including loan financing from the Fund, for the purposes
24 in § 2502(A)(1), shall be favored over direct funding in whole.

25 12 N.N.C. § 2502, as amended by CJA-03-18.

26 F. The Sihasin Fund provides that “Fund Principal” shall consist of all deposits made
27 to the Sihasin Fund and that “Fund Income” shall consist of all earnings (interest,
28 dividends, etc.) generated and realized by the Fund Principal, and that Fund
29 Income shall be deposited in and added to Fund Principal until such time as a
30 Fund Expenditure Plan is duly adopted. 12 N.N.C. §§ 2504 and 2505 (C).

1
2 **Section Two. Findings**

- 3 A. The Tonalea Chapter Community Building Replacement project is detailed in the
4 objectives and goals, scope of work, and architectural construction documents
5 attached as **Exhibit 1**.
- 6 B. Project process schedules are attached as **Exhibit 2**.
- 7 C. Memoranda dating 2001 to 2012 from the Tuba City Indian Medical Center and
8 Tuba City Regional Health Care Corporation, Division of Environmental Health
9 Services raise serious safety concerns about the Tonalea Chapter House. Those
10 memoranda are attached as **Exhibit 3**.
- 11 D. The Navajo Nation Council through resolution CAP-35-18 approved and adopted
12 the Sihasin Fund Powerline and Chapter Projects Expenditure Plan including
13 \$1,050,000.00 for the Tonalea Government Building project. The approval of this
14 request for \$3,000,000.00 is in addition to the amount approved by CAP-35-18.
15 Resolution CAP-35-18 Exhibit D item No. 140 is attached as **Exhibit 4**.
- 16 E. The Document No. 013108 "Section 164 Review Form" including Office of
17 Management and Budget, Office of the Controller and the Office of the Attorney
18 General reviews is attached as **Exhibit 5**.
- 19

20 **Section Three. Allocation of \$3,000,000 to the Division of Community**
21 **Development on behalf of the Tonalea Chapter and approval and adoption of**
22 **Tonalea Chapter Community Building Replacement Expenditure Plan**

- 23 A. The Navajo Nation hereby allocates to the Division of Community Development on
24 behalf of the Tonalea Chapter the total amount of \$3,000,000.00 to construct the
25 Tonalea Chapter Community Building Replacement as detailed in **Exhibits 1 and**
26 **2**.
- 27 B. The Navajo Nation hereby approves and adopts the Tonalea Chapter Community
28 Building Replacement Expenditure Plan, attached and incorporated herein as
29 **Exhibits 1 and 2**.
- 30

1 C. The Síhasin Funds allocated for the Síhasin Fund Tonalea Chapter Community
2 Building Replacement Expenditure Plan may be further leveraged by bond or loan
3 financing pursuant to the Navajo Nation Bond Financing Act, 12 N.N.C. § 1300 *et*
4 *seq.*, as amended, using Síhasin Fund earnings for repayment and financing costs
5 upon the recommendation of the Budget and Finance Committee and approval by a
6 two-thirds (2/3) vote of all members of the Navajo Nation Council.

7
8 **Section Four. Approval and Adoption of Expenditure Plan Administration**

9 The Navajo Nation hereby approves administration of the Síhasin Fund Tonalea
10 Chapter Community Building Replacement Expenditure Plan as follows:

- 11 1. The Navajo Nation Controller shall determine whether the source of the annual
12 allocations from the total allocation of \$3,000,000.00 will be Síhasin Fund
13 Principal or Income or a combination of both;
- 14 2. The funding to the Division of Community Development on behalf of the
15 Tonalea Chapter for the Tonalea Chapter Community Building Replacement
16 shall be distributed by the end of the first quarter of the respective Navajo
17 Nation Fiscal Year;
- 18 3. The funds allocated for the Tonalea Chapter Community Building Replacement
19 shall be used solely to design, plan, and construct the Tonalea Chapter
20 Community Building Replacement described in **Exhibits 1 and 2**. Any and all
21 cost-savings shall be returned to the to the Síhasin Fund once the Tonalea
22 Chapter Community Building Replacement is completed; and
- 23 4. The funds allocated for the Tonalea Chapter Community Building Replacement
24 shall not lapse on an annual basis pursuant to 12 N.N.C. §820 (N), however,
25 any funds not spent or encumbered within twenty-four (24) months of the date
26 funds are made available to the Tonalea Chapter Community Building
27 Replacement shall revert to the Síhasin Fund principal, unless recommended
28 otherwise by the Resources and Development Committee and approved by the
29 Naabik'íyáti' Committee.

1 **Section Five. Effective Date**

2 The Sihasin Fund Tonalea Chapter Community Building Replacement Expenditure
3 Plan, as set forth above, shall become effective pursuant to 12 N.N.C. § 2505.
4

5 **Section Six. Directives**

6 The Tonalea Chapter and the Division of Community Development shall report the
7 status of the Tonalea Chapter Community Building Replacement to the Naabik'iyáti
8 Committee a least once per quarter after the initial disbursement of funds.
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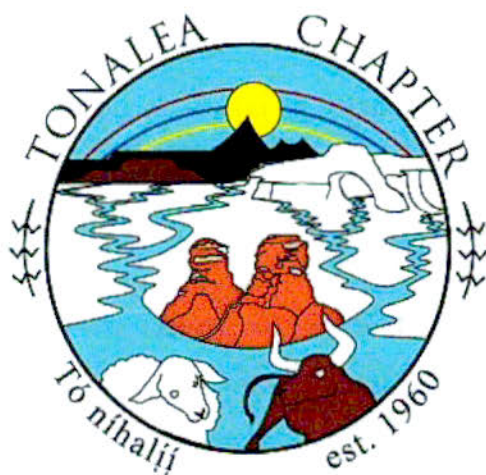
TONALEA CHAPTER PROPOSAL

For

NEW CHAPTER COMMUNITY BUILDING REPLACEMENT

Amount of Funds Requested:

\$3,000,000.00



For Additional Information, please contact

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TONALEA CHAPTER NEW COMMUNITY BUILDING REPLACEMENT

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REFERENCES

EXHIBITS

- A. 1. Administrative Order of Condemning and Order Permanent
Closure by the Office of Environmental Health/Code Enforcement
- 2. Order of Closure to Tonalea Chapter Administration by Navajo Nation Department of Health
- B. Tonalea Chapter Replacement Building Updated Project Schedule
- C. 1. Tonalea Chapter Replacement Building Site Plan
- 2. Tonalea Chapter Replacement Building Floor Plan
- 3. Tonalea Chapter Replacement Building Exterior Elevations
- D. 1. Letter of Commitment for Chapter matching funds
- 2. MIP Budget Line Item
- 3. Other Resolutions
- E. 1. Tonalea Chapter Resolution No. *TN18-06-03*
- 2. Project Status Report
- 3. Construction Cost Estimate
- 4. Project Budget Summary Form 1
- 5. Project Budget and Justification Form 2

6. Project Budget Schedule

F. Tonalea Chapter Priority List

I. SUMMARY

Of the 110 Chapter buildings within the Navajo Nation, eight were condemned by the Navajo Nation Division of Health. Office of Environmental Health Code Enforcement federal government, which included the Tonalea Chapter facility. Tuba City Regional Health Care Corporation: Office of Environmental Health recommended closure of the Tonalea Chapter due to numerous contributing factors of unsafe conditions. As a result, a licensed structural engineer inspected the Tonalea Chapter for structural soundness and integrity. The primary concern was for the safety and welfare of the Tonalea Chapter Staff, Officials and the general public upon their use of the facility and general services daily.

The Navajo Nation Division of Health: Office of Environmental Health/Code Enforcement, issued an Administrative Order of Condemning and Order of Permanent Closure, copy enclosed as **Exhibit A. 1.**, of the Tonalea Chapter building. Results from the structural inspection of the defects found in the Fall of 2012 by the Federal Division of Environmental Health Services.

II. BACKGROUND

The Tonalea Chapter is a certified chapter and is one of the 110 Chapter Governments on the Navajo Nation. The chapter was granted LGA Certification on December 2, 2014 by the Navajo Nation Resource and Development Committee. The chapter is a local governmental entity and is delegated certain authorities and responsibilities with respect to local matters consistent with the Navajo Nation Laws. Pursuant to Title 2, Section 402 (a), the Tonalea Chapter has the authority to review all matters affecting the local communities and make appropriate recommendations to the Navajo Nation, County, State and Federal government agencies that are in the best interest and welfare of the local communities.

The Western Navajo Agency is the largest land base of the five agencies on the Navajo Nation that extends into the rural areas of the State of Arizona and Utah, with an estimated land size of 2,359,122 acres. The Tonalea Chapter is one of the eighteen Chapters in the Western Navajo Agency with an estimated land base of 153,000 +/- acres. It is located along U.S Highway 160 at Milepost 344, 1/2 mile north on Bureau of Indian Affairs (BIA) highway N-21, 36 degrees 19'4 "N 110 degrees 58'13" W, Tonalea, Arizona. Tonalea is in a very rural area with limited resources in terms of law enforcement, education, telecommunication/utilities, transportation, commercial, and healthcare access to serve the community and general public.

The chapter population according to the 2010 U.S Census is recorded as 2,595. According to 1990 U.S Census records, the population was 2,072.

There are limited employment opportunities available in the community, thus, the rate of unemployment is increasing. The Tonalea Day School, two grocery stores –Old Red Lake Trading Post and Tonalea General Store, Tonalea Chapter, Tonalea Senior Citizen Center,

Navajo Nation Community Health Office and the two (2) Navajo Head Start Programs all employ a limited number of people. Over 70% of the community members rely on general welfare with Navajo Nation General Assistance, Navajo Nation Program for Self-Reliance and food stamps through the Department of Economic Security. Elders and disabled rely on Social Security and/or Disability benefits.

The Tonalea Chapter is focused on improving the safety, social, economic, health and educational conditions of the families residing in the community. To promote these plans, the community recognizes that infrastructure development is the most important. The community has also been affected by the Bennett Freeze, land dispute with the Hopi Tribe that prohibited any construction, development and building repairs without written expressed approval from both tribes. Approximately 49,925 acres were affected by the Bennett Freeze. For over 40 years the Former Bennett Freeze Area, has resulted in severe social and economic problems for the community of Tonalea. Due to these conditions many members of the community have relocated to nearby towns for better health services, education, and the convenience of modern-day necessities. The construction prohibition was lifted in 2009, future projects will improve the living conditions of the people by continuous community education and functions by the local community government.

III. Problem Statement and Need Assessment

On October 9, 2012, the Federal Division of Environmental Health Services conducted a physical inspection of the Tonalea Chapter Building. Due to severe shift in the foundation and load bearing walls, it resulted a possible danger of the building roof collapsing. There was possible presence of asbestos and lead paint in the walls, roof, plumbing and ceiling areas. In 1959, the building was built of cinderblocks and lumber by local unskilled labors. The building had most of the original plumbing and electrical work laid over half a century before.

On October 15, 2012, the Federal Division of Environmental Health Services (DEHS) generated an inspection report that outlined a recommendation to the Tonalea Chapter, to close due to several contributing factors. It was also recommended that a certified structural engineer inspect the Tonalea Chapter for structural integrity. The interested parties' primary concern is for the safety and welfare of the Tonalea chapter staff, officials and the community upon their use of the facility and daily general services to the public.

On October 19, 2012, Tonalea Chapter Staff and the Executive Director of Division of Community Development, in cooperation with the Navajo Nation Capital Improvement Office (CIO) and Navajo Nation Design and Engineer Services (DES), a visual inspection was conducted of the Chapter building's compromised load bearing walls and stress cracks in the concrete floor of the assembly room.

In November 2012, the Tonalea Chapter Administration moved into the Chapter's Tin Blue Warehouse meant for storage. Despite it possessing serious health, safety, and hazardous concerns, chapter administration staff continued to operate out of the Tin Blue Warehouse.

On May 20, 2013, the Navajo Nation Division of Health-Office of Environmental Health/Code

Enforcement issued an Administrative Order of Condemning and Order of Permanent Closure (see Exhibit A.1), of the Tonalea Chapter building after a visual inspection of the compromised structure and integrity was found in the Fall of 2012 by the Federal Division of Environmental Health Services.

The Chapter Administrative staff was housed in the Chapter's Tin Blue Warehouse for over three years. The Chapter Administrative staff had to endure the extreme cold weather in the winter months and extreme heat in the summer months due to poor insulation. The administrative staff dealt with vermin, snakes, and lizards entering the warehouse due to the dilapidated exterior panels. The warehouse was never meant to be used as an office space, but for storage only.

On December 8, 2015, the Navajo Nation Department of Health issued the Order of Closure to the Tonalea Chapter Administration-see **Exhibit A.2**. The Administration was granted limited re-entry to collect only necessary administrative items. The order of closure explicitly stated, "There shall be no administrative function during this duration". The Administration was given until December 11, 2015 by 5pm, to vacate the premises.

After December 11, 2015, Tonalea Chapter Administrative staff moved out the Tin Blue Warehouse with no alternative office space. There was no other building available in the Tonalea Community for the Administrative staff to utilize as an alternate office space.

Thereafter, Tonalea Chapter entered into a Memorandum of Agreement with the Navajo Nation Division of Community Development to temporarily relocate the Tonalea Chapter Administrative staff to the Administrative Service Center in Tuba City. This was the only viable alternative. This resulted in serving the community from Tuba City, that required Tonalea community members to commute 25 miles southwest of Tonalea. Educational services and other social functions for the community were discontinued and remain in despair.

Due to community needs for ongoing local services and functions within the Tonalea Chapter community, the Tonalea Senior Citizen Center stepped up in identifying an office space for the chapter administrative staff. The Tonalea Chapter Administration is currently utilizing a space in the Tonalea Senior Citizens' Center. Within the 10'x10' space being occupied, the laundry room inside the Tonalea Senior Citizens' Center has become the new chapter administration office.

Space limitation in Tonalea remains the same along with providing necessary services to the community, which continues to be a challenge. Other challenging factors are improvements on increasing productivity for the chapter administrative staff to meet the demands of the community and the general public, and most public meetings continue to be held at the Tonalea Senior Citizens' Center with very limited space. At times, the public meetings in the Senior Citizens' Center becomes overcrowded exceeding the maximum occupancy of 54. It causes a safety and health concern and deters community members away. Despite these challenges' factors with no local community facility, the Tonalea Chapter continues to encourage the community and general public to attend public meetings and/or other social functions that are important for community awareness.

Space limitations have also caused limited spending on the chapter's Summer Youth

Employment and Public Employment Program funds to employ in the community is essential and necessary for the Chapter to complete local projects. These programs also allow the community to be self-sufficient and gives the youth the opportunity to pay for books, clothes, supplies, registration fees, etc., for the upcoming school year.

Tonalea Chapter employs an average of 15 Public Employment Program Participants throughout the Fiscal Year, an average of 20 age approved Summer Youth Employment Program Participant as well as numerous Participants from programs such as Office of Dine Youth and the Navajo Nation Workforce Development.

IV. OBJECTIVES AND GOAL

This project is to provide a healthy and safe environment, and to enhance the overall quality of life for the general public of the Tonalea Community, Administrative Staff, and the Chapter Officials. Tonalea community members have had many challenges including disruption of basic human services over the last forty years caused by federally imposed construction prohibition, known as the Bennett Freeze. Through the successful and timely completion of this project, the Chapter will exemplify its ability to continue working with various agencies and organizations in fulfilling the community prioritized needs of the Tonalea Chapter. The completion of this project will also contribute to further capital development. Examples are additional power line extensions, waterline extensions, road improvements for safer accessibility of schools, law enforcement, emergency medical services, community health representatives to attend to high risk patients, etc. In order to meet the Tonalea community needs and goals, the Navajo Nation Capital Project Management Department (CPMD), formerly known as Navajo Nation DES, supports and encourages the approval of the funding that is being requested along with numerous other entities.

V. SCOPE OF WORK

The construction of a new Tonalea Chapter building was proposed in three (3) phases:

1) Demolition of the old chapter building with abatement of asbestos, lead paint and removal [Completed, 2015] 2) Design of a new Chapter Building 3) Construction of a new Chapter Building.

Phase one of the project is complete that entailed testing for asbestos, lead paint, mercury, chlorofluorocarbon (CFCs) and polychlorinated biphenyls (PCBs) in the building. These harmful materials were tested by a specialized licensed inspector, Iina Ba, Inc. Materials that tested positive were removed by a specialized contractor and transported to an authorized location for disposal. This phase of the demolition project's cost estimate was approximately \$150,000.00 for planning, developing and implementing.

Phase two of the project design is complete with a cost estimate of \$330,549.25. Chapter design of the new building was reduced from 8,400 square feet to 6,795 square feet. Reduction of the building was the chapter's desire to manage a smaller building due to fiscal reasons.

Phase three of the project is estimated at \$3,000,000.00 for the construction of the new Tonalea

Chapter building. The goal is to complete the construction of the new Tonalea Chapter building on its scheduled timeline and within the proposed budget.

Our first scheduled milestone is to communicate the construction site plan to the community with the design planning team. The team will utilize visual aids such as graphics and 3-D models to emphasize the changes from the old building to the new building designs by incorporating the local culture, philosophy, and tradition. This will be followed by the groundbreaking to begin construction.

Project milestone: See **Exhibit B** that references the updated Tonalea Chapter Project Schedule.

The new Tonalea Chapter building will be 6,795 square feet with unique designs that will entail energy efficient features and a voltage converter system that meets renewable portfolio standards for the State of Arizona. It will have large windows for cross ventilation and cooling purposes. The electrical wiring will be specific to include an area for future computer lab terminals and the chapter house will provide WIFI/Broadband services to the community. The bathrooms will have Americans with Disability Act (ADA) handicapped accessibility and low water usage toilets. See **Exhibit C.1-C.3** attachments referencing the chapter building— site plan (C.1), floor plan (C.2) and exterior elevations (C.3).

The old building (demolished) was approximately 2,600 square feet and was used as both a government building and community resources. There were fourteen rooms total, including three office spaces, a reception area office, a janitor's closet and nursing consultations, four storage closets, two restrooms, computer lab, and about 120 capacity assembly halls used for voting, wedding ceremonies, funeral planning, traditional tribal games and cultural teachings and celebrations.

The Tonalea Chapter Administration and CMPD will oversee construction projects and management of the new building. For the past fifty years, the organization has been responsible for the majority of all community procurement and local budgets. Through our vast experience, the administration will use their expertise and knowledge to ensure the new chapter building project will meet milestones and deadlines by working with CMPD.

The Tonalea Chapter administration maintains and establishes all local utility infrastructures along with managing and operating a watering point for the entire community. Tonalea Chapter staff oversee maintenance of two Head Start buildings and the Senior Center within the community while meeting both federal and tribal standings. In 2010, FEMA entrusted Tonalea with over \$30,000 in monies and equipment to operate Project Snowdrift, plow and salt roads and assist with vehicle accidents and emergencies. They also have had previous experience in construction management, having supervised the complete \$100,000 renovation and remodel of the Chapter's Senior Center on 2011.

Financially, the Tonalea Chapter House oversees an annual budget of \$325,000. They manage a \$ 90,000 trust that awards bachelor, masters and PhD candidates' annual scholarships. In preparation for the upcoming construction of the new Chapter House, the Tonalea Local Government has saved more than \$100,000.00 to put toward the New Chapter House project.

The Tonalea Chapter in collaboration with CMPD have conducted feasibility studies and determined that all utilities are on-site to support the new structure. The site is located within the withdrawn land of the chapter tract that belongs to the Tonalea Chapter and right-of-way access are currently available to the site.

The community watering point is located within the chapter premise. The community watering point remains a primary source for local domestic and livestock use, vital to approximately 60 percent of the community who still lack running water in their homes. Future infrastructure in these areas of the community will improve over time as the construction of the new chapter building is complete. More community interaction with critical involvement of the stakeholders to guide and contribute in completion of infrastructure projects will decrease the amount of people lacking running water.

The old Tonalea Chapter House was the main artery providing liveliness to the community for over 50 years. Traditional meetings, celebrations, games, educational workshops, and other social events have since ceased since the closure of the Chapter House in October 2012. Public meetings continue to be held at the Tonalea Senior Citizen Center and nearby churches. Nursing and public health consultations have also discontinued. The nearest medical facility is in nearby Tuba City, 25 miles away. Tonalea was a long-time participant in the mobile medical unit, courtesy of Tuba City Regional Health Care Center, this offered community members the convenience of receiving non emergent medical care, this service has since ceased. The food distribution program that provided much needed food assistance to community members, mainly elderly community members with limited income has since closed and no longer provides.

VI. Location of the New Tonalea Chapter Building

Below: The location of the future Tonalea Chapter Building will be located on the same site as the previously condemned Chapter Building as shown below in the red box. The site is located adjacent to the Tonalea Head Start Building. The Tonalea school is located about 200 yards north of the yard depicted in white and 50 yards from the Senior Citizen Building. The community watering point is located near the warehouse, south of the existing Senior Center.

To limit construction costs and meet budget goals, the new Tonalea Chapter building will be reconstructed on the same site as the old chapter building. With the increasing enrollment population and discontinuation of local services, the demand for a new chapter building has increased. No community chapter facility limits meeting the growing needs of the community, this includes veterans, youth, and elders. A new chapter building will extensively help expedite a return of a local community culture, tradition, and education, employment, re-opening of scheduled events to encourage community developments and improvements, traditional celebrations, and other social activities for the betterment of Tonalea that includes health promotions and maintaining an active lifestyle. The Chapter anticipates a return of the much-needed commodity food program and other welfare services. The Nurse Consultation office will also reopen, and a community room will be available for voting, town meetings, weddings, funeral practices, etc. A future computer lab with Wi-Fi internet access will be available for virtual learning and the Chapter hopes to open a small gym facility for the community seeking a

more active lifestyle.

VII. BUDGET FOR NEW CHAPTER BUILDING CONSTRUCTION

Project Cost Activities	Total
Construction	\$2,580,115.60
NTUA 3-Phase Electrical Line	\$150,000.00
Other Costs Not Included in Budget	\$269,884.40
Total	\$3,000,000.00

Tonalea Chapter will provide match funding in the amount of \$263,203.33

Contributions will be applied to the construction costs of the new Chapter Building

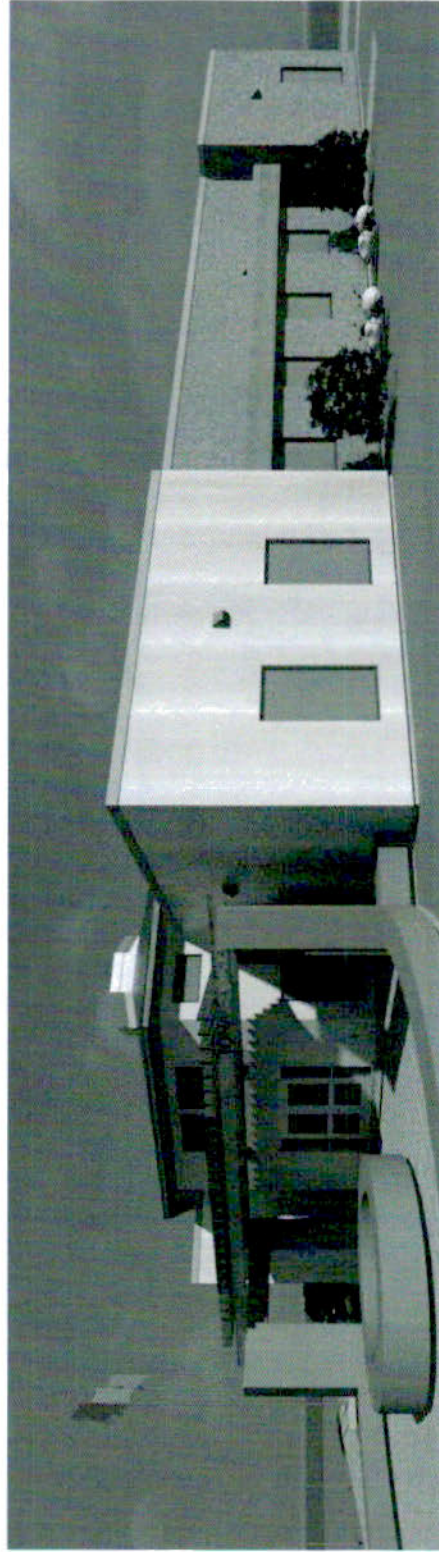
INDIAN ROUTE 21, TONALEA, ARIZONA
100 % CONSTRUCTION DOCUMENTS
JANUARY 16, 2017

TONALEA CHAPTER
REPLACEMENT
BUILDING

INDIAN ROUTE 21, TONALEA, ARIZONA

100 % CONSTRUCTION DOCUMENTS

JANUARY 16, 2017



GENERAL	TITLE SHEET AND COVERING INDEX
SECTION	FOUNDATION
DETAIL	LIVE SAFETY PLAN
CONV	COVER SHEET
CY00	GROUND PLAN
CY01	PAVING PLAN
CY02	HORIZONTAL CONTROL PLAN
CY10	HORIZONTAL CONTROL PLAN
CY03	UTILITY PLAN
CY04	DETAILS
CY05	DETAILS
LANDSCAPE	LANDSCAPE PLAN
LY01	DETAILS
STRUCTURE	STRUCTURE SHEET
SB01	ANNOTATIONS AND LEGEND
SB02	GENERAL STRUCTURE NOTES

B101	FOUNDATION PLAN	AS08	WTE DETAILS	PL08	PLUMBING ROOF PILING PLAN
B102	LOW ROOF FRAMING PLAN	A102	CHIMNEY PLAN	PL09	PLUMBING DETAILS
B103	HIGH ROOF FRAMING PLAN	A103	ROOF PLAN	PL10	PLUMBING WTE PILING PLAN
B104	ROOF FRAMING ELEVATIONS	A104	ROOF VENTILATION DETAILS		MET04
B105	WALL SECTIONS	A105	ROOF PLAN DETAILS		MET05
B106	WALL SECTIONS	A106	ROOF DETAILS		MET06
B107	WALL SECTIONS	A107	BUILDING SECTIONS		MET07
B108	WALL SECTIONS AND DETAILS	A108	WALL SECTIONS DETAILS		MET08
B109	ENLARGED PLAN	A109	WALL SECTIONS DETAILS		MET09
B110	FRAMING SECTIONS AND DETAILS	A110	WALL SECTIONS DETAILS		MET10
B111	TYPICAL FRAMING SECTIONS AND DETAILS	A111	WALL SECTIONS DETAILS		MET11
B112	TYPICAL FRAMING SECTIONS AND DETAILS	A112	WALL SECTIONS DETAILS		MET12
B113	TYPICAL FRAMING SECTIONS AND DETAILS	A113	WALL SECTIONS DETAILS		MET13
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B119	TYPICAL FRAMING SECTIONS AND DETAILS	A119	WALL SECTIONS DETAILS		MET19
B120	TYPICAL FRAMING SECTIONS AND DETAILS	A120	WALL SECTIONS DETAILS		MET20
B121	TYPICAL FRAMING SECTIONS AND DETAILS	A121	WALL SECTIONS DETAILS		MET21
B122	TYPICAL FRAMING SECTIONS AND DETAILS	A122	WALL SECTIONS DETAILS		MET22
B123	TYPICAL FRAMING SECTIONS AND DETAILS	A123	WALL SECTIONS DETAILS		MET23
B124	TYPICAL FRAMING SECTIONS AND DETAILS	A124	WALL SECTIONS DETAILS		MET24
B125	TYPICAL FRAMING SECTIONS AND DETAILS	A125	WALL SECTIONS DETAILS		MET25
B126	TYPICAL FRAMING SECTIONS AND DETAILS	A126	WALL SECTIONS DETAILS		MET26
B127	TYPICAL FRAMING SECTIONS AND DETAILS	A127	WALL SECTIONS DETAILS		MET27
B128	TYPICAL FRAMING SECTIONS AND DETAILS	A128	WALL SECTIONS DETAILS		MET28
B129	TYPICAL FRAMING SECTIONS AND DETAILS	A129	WALL SECTIONS DETAILS		MET29
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B319	TYPICAL FRAMING SECTIONS AND DETAILS	A319	WALL SECTIONS DETAILS		MET219
B320	TYPICAL FRAMING SE				

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**TONALEA CHAPTER
REPLACEMENT
BUILDING**

CODE ANALYSIS

- [illegible]

DEFERRED SUBMITTALS

1. FINE ALUM DRAWINGS AND SHOP DRAWINGS
2. TACTILE BRIDGE SHOP DRAWINGS

GENERAL NOTES

- [illegible]

ABBREVIATIONS

- [illegible]

SYMBOLS | LEGEND

- [illegible]

PROJECT TEAM

- OWNER**
 10000 E. 15th Ave., Suite 100
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ARCHITECT
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STRUCTURAL
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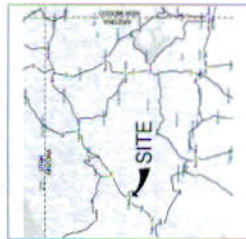
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LOCATION

REGION MAP



VICINITY MAP



NOT FOR CONSTRUCTION

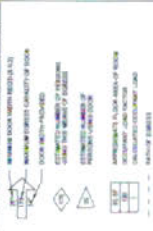
Ressourcen-Schreibweise		
Ressourcen- Nummer	Ressourcen- Dichte	Ressourcen- Beschreibung

Author	Year	Journal
Smith, J. D.	2015	Journal of Management Education
Johnson, A. B.	2016	Journal of Management Education
Williams, C. E.	2017	Journal of Management Education
Miller, D. F.	2018	Journal of Management Education
Wilson, G. H.	2019	Journal of Management Education
Moore, I. J.	2020	Journal of Management Education
Taylor, K. L.	2021	Journal of Management Education
Anderson, M. N.	2022	Journal of Management Education
Clark, O. P.	2023	Journal of Management Education
Evans, R. Q.	2024	Journal of Management Education
Green, S. T.	2025	Journal of Management Education
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**TONALEA CHAPTER
REPLACEMENT
BUILDING**
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100 % CONSTRUCTION DOCUMENTS
JANUARY 16, 2017

CODE REVIEW LEGEND

FIRE EXTINGUISHER
LEGEND / NOTES

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WALL TYPES

KEYED NOTES

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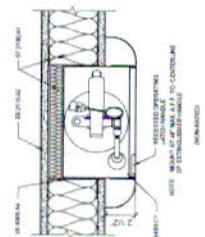
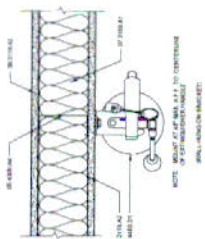
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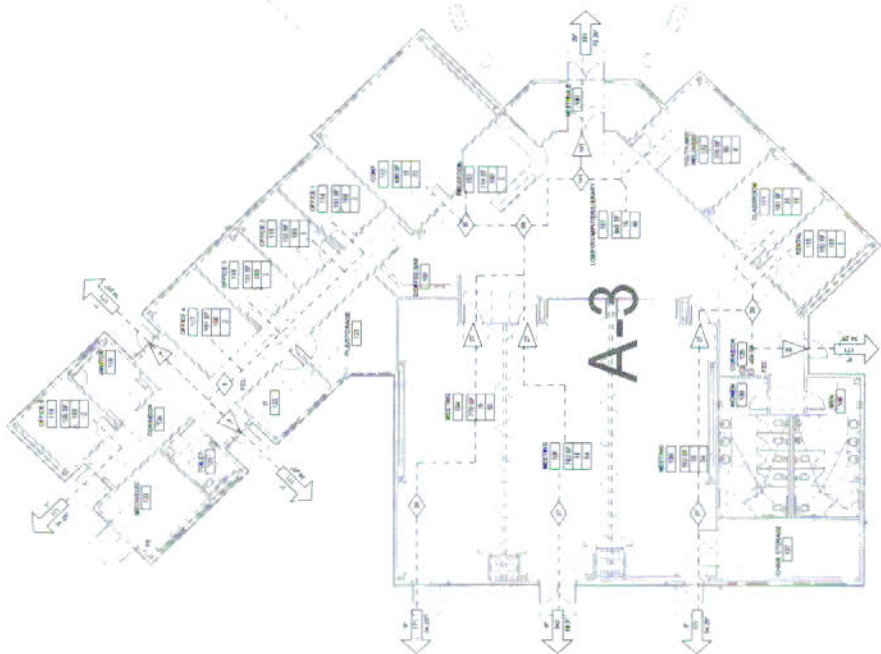
DYRON MURPHY ARCHITECTS, P.C.

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G101

SEMI-RECESSED FIRE
EXTINGUISHER CABINET

E3 **FIRE EXTINGUISHER**



A4 LIFE SAFETY PLAN



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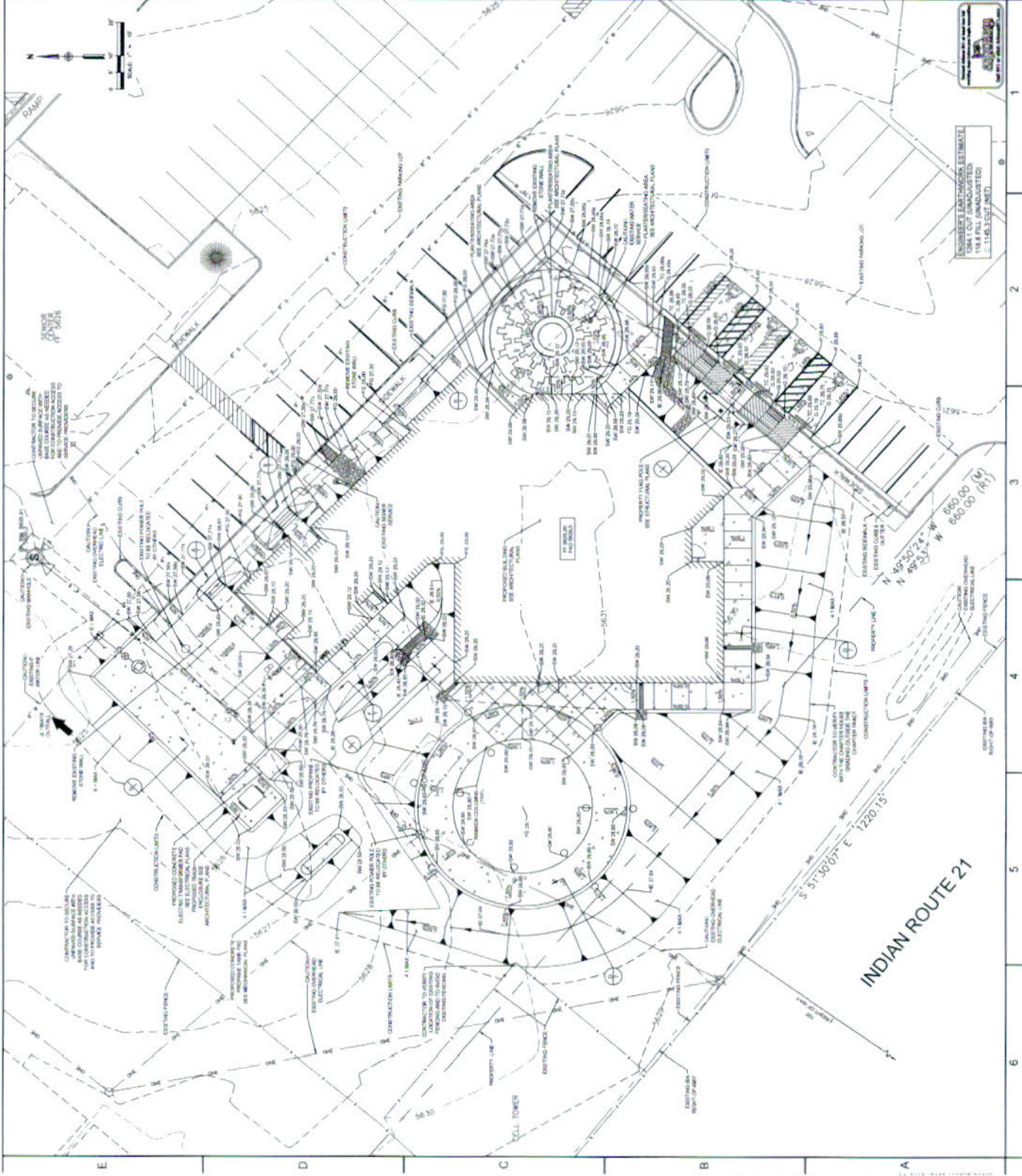
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INDIAN ROUTE 21,
TONALEA, ARIZONA

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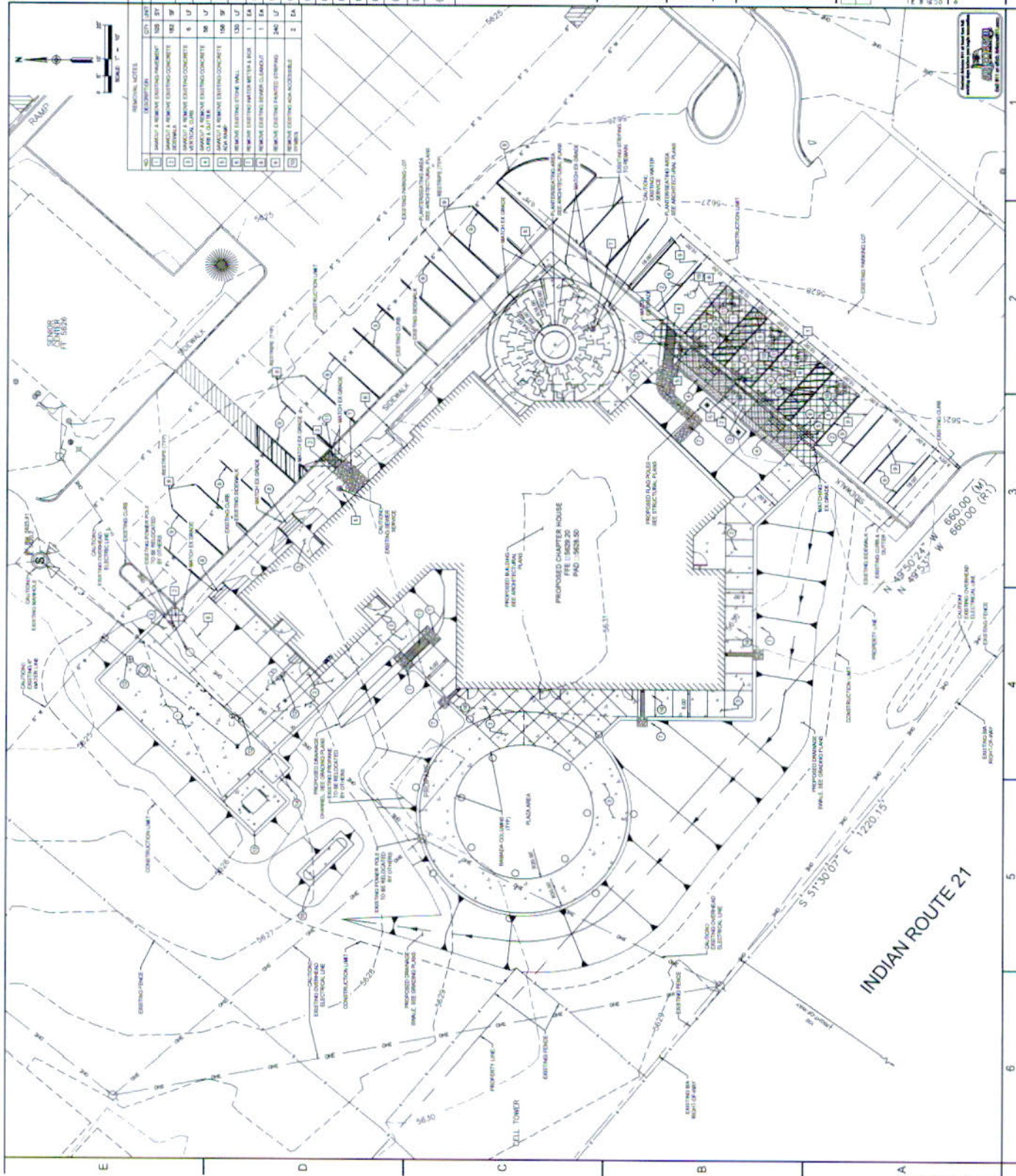


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PAVING PLAN

C210



**TONALEA CHAPTER
REPLACEMENT
BUILDING**

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4325 Marshall Place SE - Albuquerque, New Mexico 87107

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HORIZONTAL CONTROL

Revision	Number	By	Date	Description
1	1	RP	01/16/17	100% CONSTRUCTION DOCUMENTS

C300

Sheet 1 of 1



Point Table

Point #	Northing	Easting	DESCRIPTION
101	10867.880	82702.480	REINFORCING
102	10867.880	82702.480	REINFORCING
103	10867.880	82702.480	REINFORCING
104	10867.880	82702.480	REINFORCING
105	10867.880	82702.480	REINFORCING
106	10867.880	82702.480	REINFORCING
107	10867.880	82702.480	REINFORCING
108	10867.880	82702.480	REINFORCING
109	10867.880	82702.480	REINFORCING
110	10867.880	82702.480	REINFORCING

LINE TABLE

LINE	BEARING	LENGTH
1	N 0° 0' 0" E	1.00
2	N 0° 0' 0" E	1.00

Point Table

Point #	Northing	Easting	DESCRIPTION
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102	10867.880	82702.480	REINFORCING
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199	10867.880	82702.480	REINFORCING
200	10867.880	82702.480	REINFORCING

Point Table

Point #	Northing	Easting	DESCRIPTION
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29	10867.880	82702.480	REINFORCING

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JANUARY 16, 2017

WATER CHARACTERIZATION MATRICES	
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Q3	WATER QUANTITY
Q4	WATER QUALITY
Q5	WATER QUALITY
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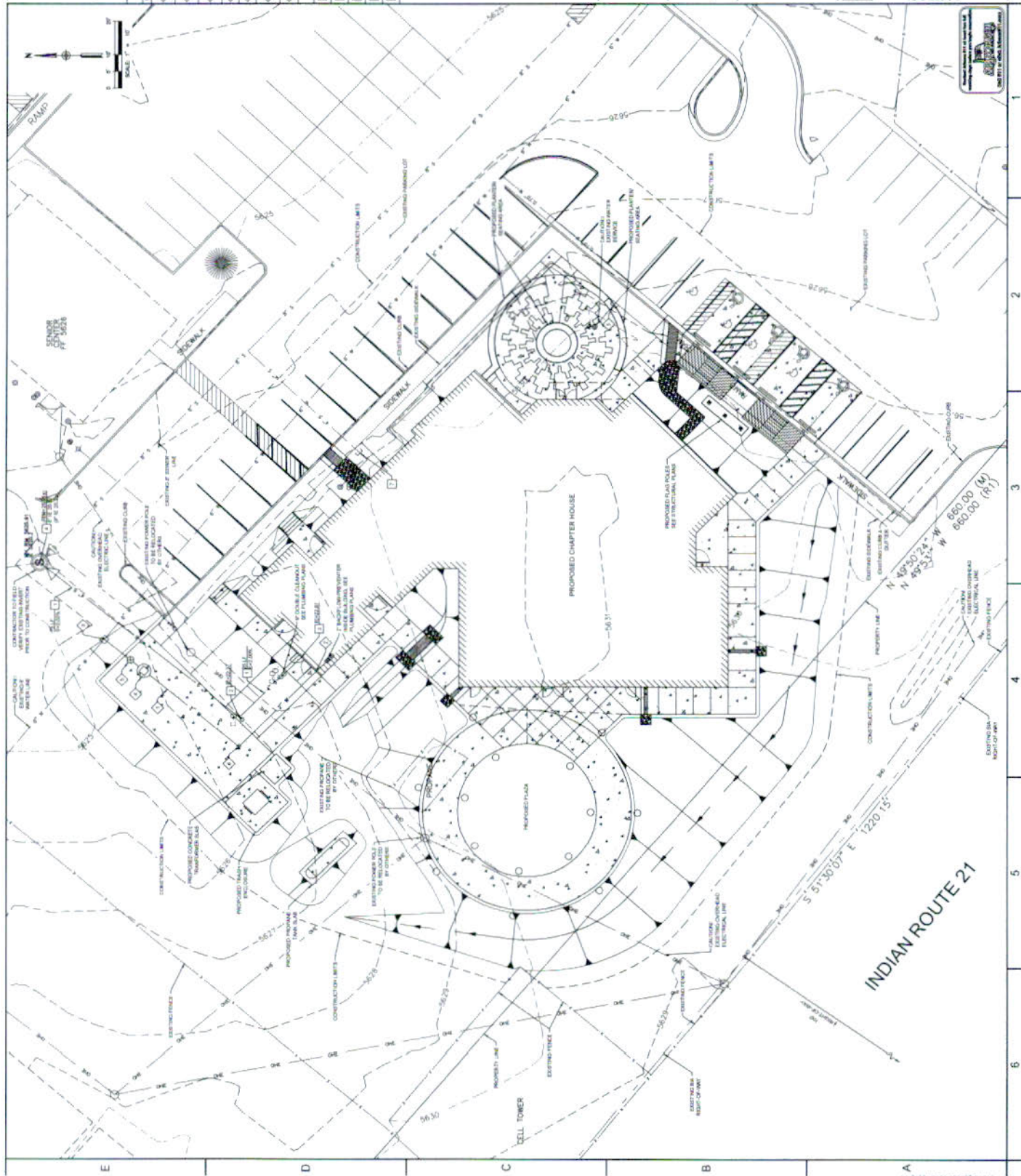
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UTILITY PLAN

Research Schedule			Principal Investigator	Project Title	Project Number	Project Status	Project Date	Project Location
Research Number	Research Title	Research Description						

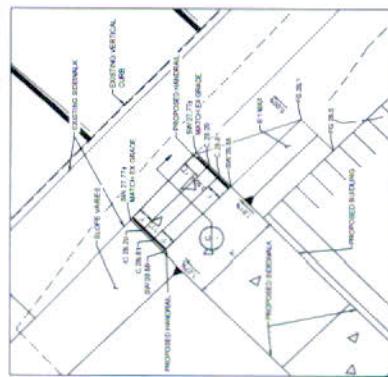
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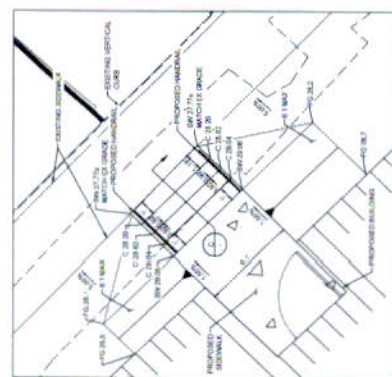


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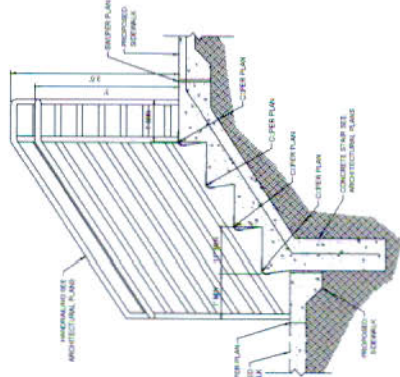
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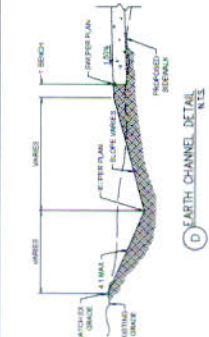
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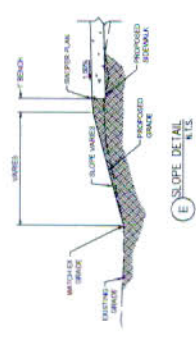
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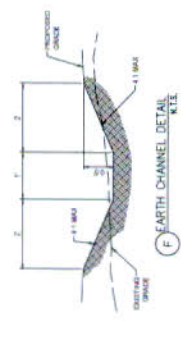
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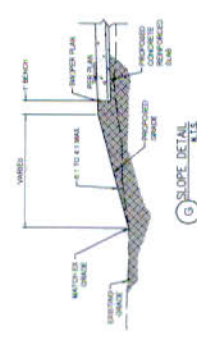
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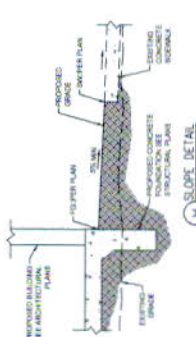
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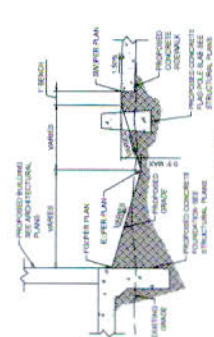
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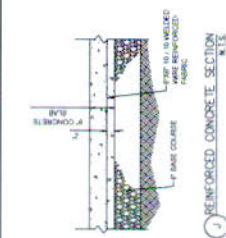
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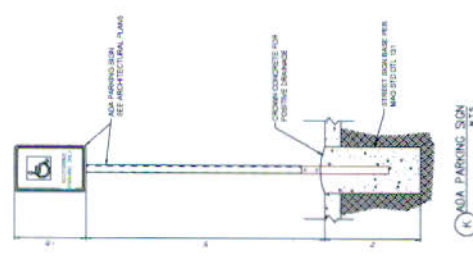
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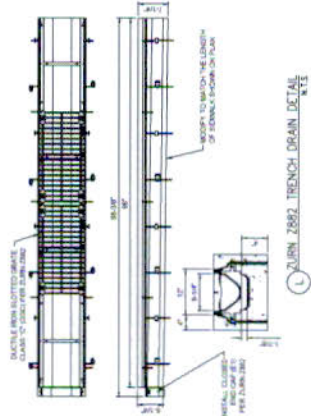
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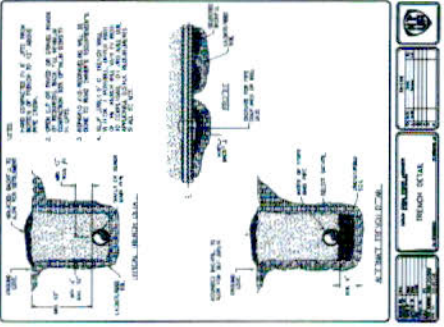
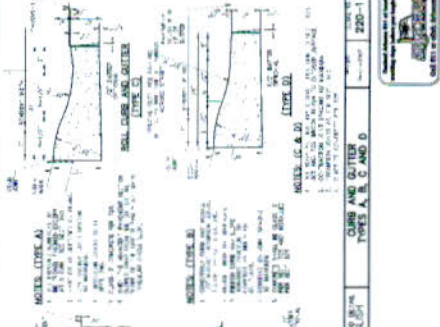
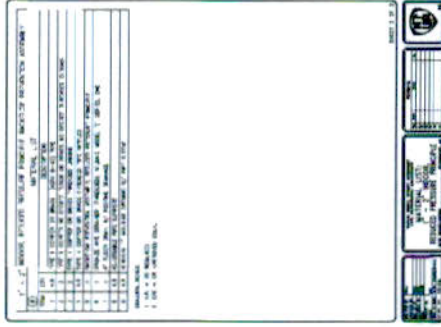
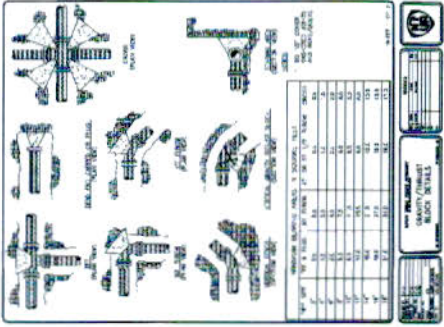


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L TRENCH DRAIN DETAIL
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REVISIONS

Revision Number	Revision Description	Date	By	Check
001	Issue for Construction	01/16/17	DM	RP

DETAILS
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C520

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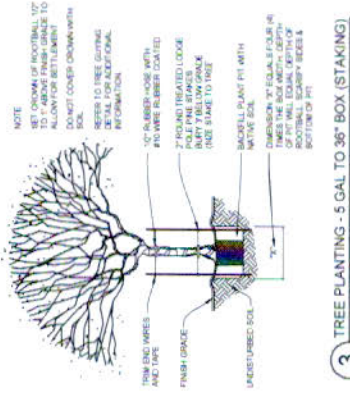


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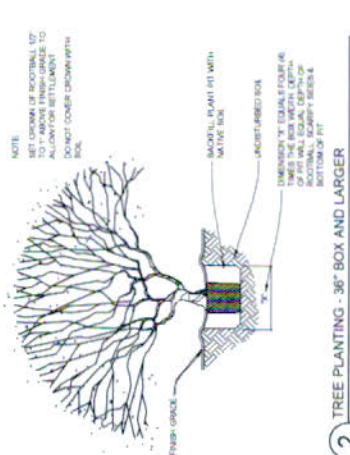
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2	Final Design	01/16/17

L301

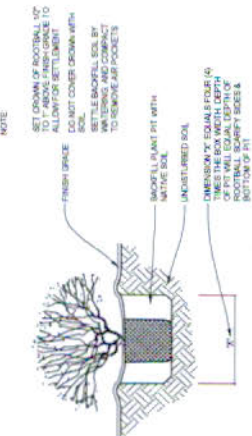
3 of 3



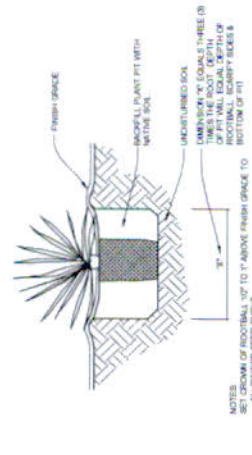
1 TREE PLANTING - HARDPAN



2 TREE PLANTING - 36\"/>



3 TREE PLANTING - 5 GAL TO 36\"/>



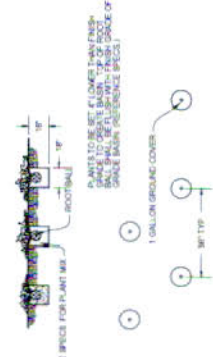
4 SHRUB PLANTING - 1 GAL TO 15 GAL



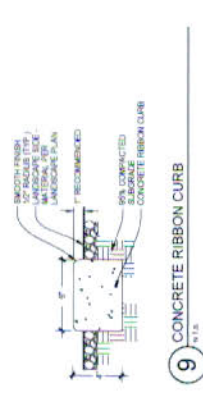
5 YUCCA / CACTUS PLANTING



6 TREE GUYING DETAIL



7 TYPICAL GROUNDCOVER INSTALLATION



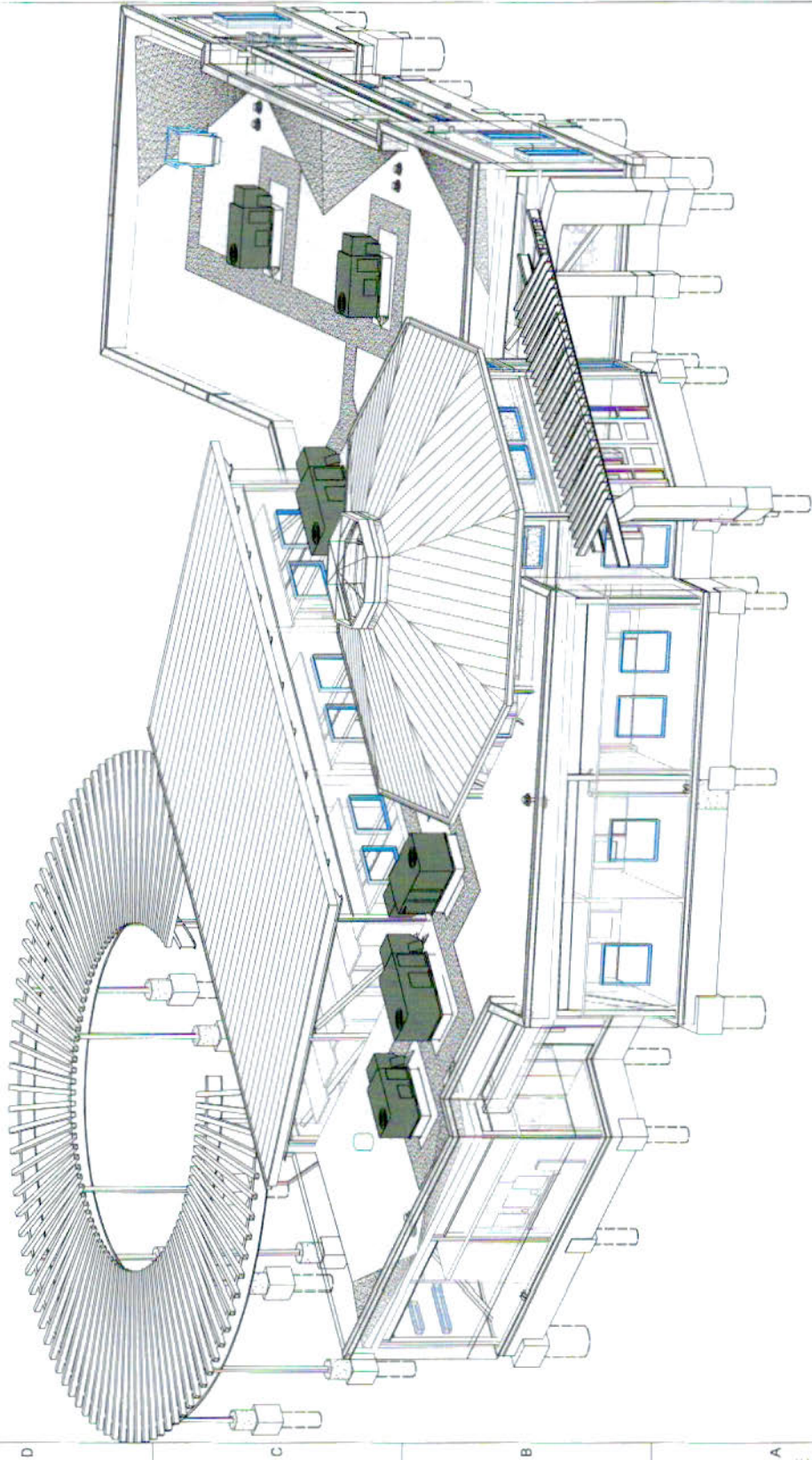
8 STABILIZED DECOMPOSED GRANITE



9 CONCRETE RIBBON CURB

TONALEA CHAPTER
REPLACEMENT
BUILDING
INDIAN ROUTE 21, TONALEA, ARIZONA
100% CONSTRUCTION DOCUMENTS
JANUARY 16, 2017

NO.	DESCRIPTION	DATE	BY	CHKD.
1	REVISION			
2	REVISION			
3	REVISION			
4	REVISION			
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100	REVISION			



A6
3D SHEET VIEW

COVER SHEET

Project Name	Project Number	Project Date	Project Status
TONALEA CHAPTER REPLACEMENT BUILDING	100% CONSTRUCTION DOCUMENTS	JANUARY 16, 2017	100% CONSTRUCTION DOCUMENTS

S000



C.C. CONSTRUCTION

DYRON MURPHY ARCHITECTS, P.C.



100% CONSTRUCTION DOCUMENTS

**TONALEA CHAPTER
REPLACEMENT
BUILDING**
INDIAN ROUTE 21, TONALEA, ARIZONA
100% CONSTRUCTION DOCUMENTS

JANUARY 16, 2017

GENERAL SHEET NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA BUILDING CODE, AS AMENDED.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ELECTRICAL CODE, AS AMENDED.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA MECHANICAL CODE, AS AMENDED.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA PLUMBING CODE, AS AMENDED.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA FIRE CODE, AS AMENDED.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA LANDSCAPE ARCHITECTURE CODE, AS AMENDED.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ENVIRONMENTAL CODE, AS AMENDED.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA HISTORIC PRESERVATION CODE, AS AMENDED.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA CULTURAL RESOURCES CODE, AS AMENDED.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ANTI-CORRUPTION CODE, AS AMENDED.
11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA CAMPAIGN FINANCE CODE, AS AMENDED.
12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA CONSUMER PROTECTION CODE, AS AMENDED.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA EMPLOYMENT LAW CODE, AS AMENDED.
14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA LABOR RELATIONS CODE, AS AMENDED.
15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA PUBLIC UTILITIES CODE, AS AMENDED.
16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA REAL ESTATE CODE, AS AMENDED.
17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA SECURITIES CODE, AS AMENDED.
18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA TAX CODE, AS AMENDED.
19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA TRAVEL CODE, AS AMENDED.
20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA VEHICLE AND TRAFFIC CODE, AS AMENDED.
21. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA WATERS AND LAND RESOURCES CODE, AS AMENDED.
22. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA WILDLIFE CODE, AS AMENDED.
23. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA WILDLIFE AND NATURE CODE, AS AMENDED.
24. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA WILDLIFE AND NATURE CODE, AS AMENDED.
25. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA WILDLIFE AND NATURE CODE, AS AMENDED.

SHEET KEYNOTE

1. IF CONSTRUCTION IS TO BE COMPLETED WITHIN 90 DAYS OF THE DATE OF THE PERMIT, THE PERMITTEE SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE PERMITTING AGENCY.
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DYRTON MURPHY ARCHITECTS, P.C.
1000 West McDowell Avenue, Suite 100
Phoenix, Arizona 85007
Phone: (602) 955-1000
Fax: (602) 955-1001
Email: info@dmarchitects.com



S101

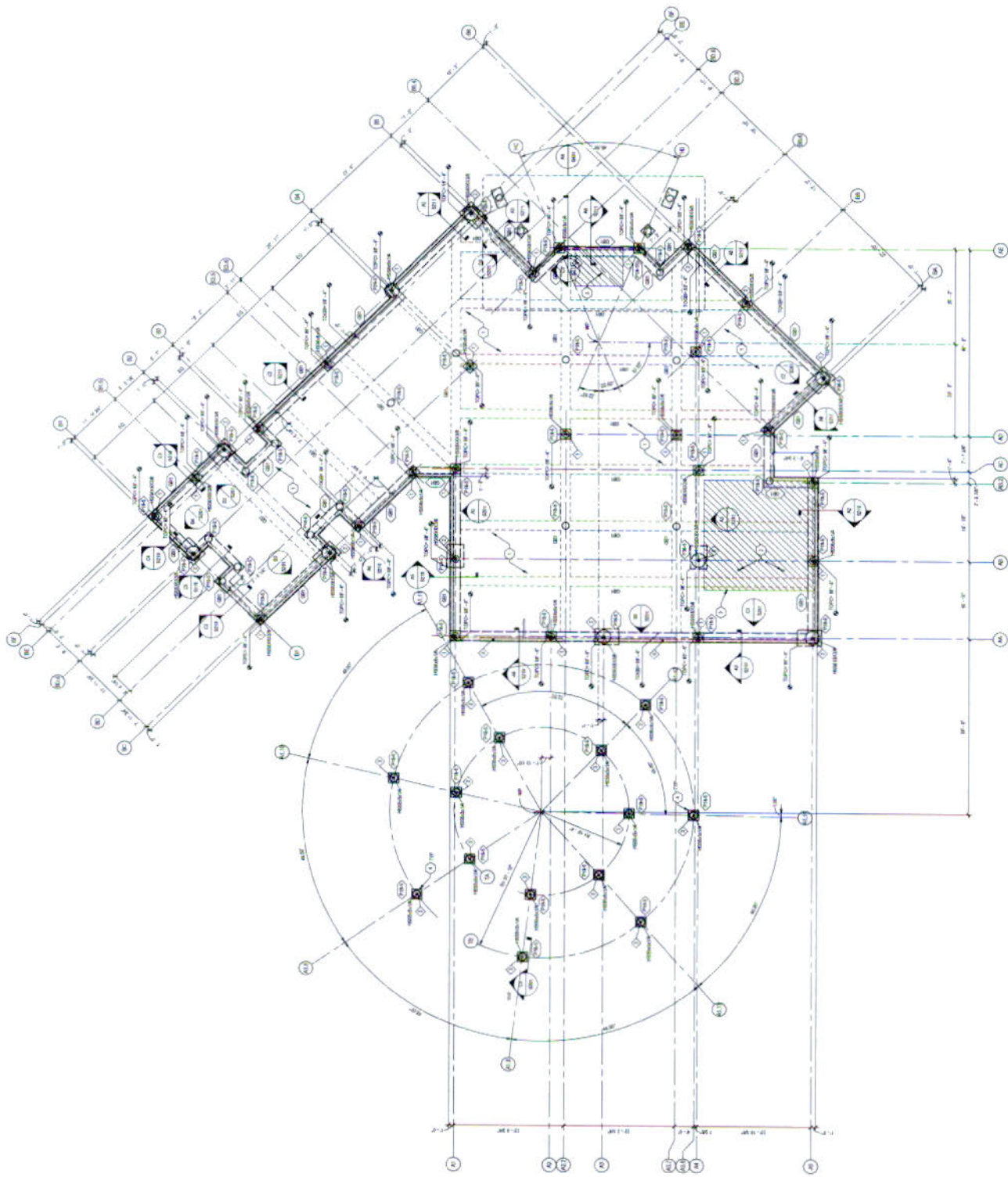
FOUNDATION PLAN

Revision	By	Date
1	DM	01/16/17

Revision	By	Date
1	DM	01/16/17

S101

Foundation



AS FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

1 2 3 4 5 6

**TONALEA CHAPTER
REPLACEMENT
BUILDING**
INDIAN ROUTE 21, TONALEA, ARIZONA
100% CONSTRUCTION DOCUMENTS

JANUARY 16, 2017

GENERAL SHEET NOTES

1. NAME, STREET, CITY, STATE, ZIP, AND PHONE NUMBER OF THE CLIENT SHALL BE INDICATED ON THE TITLE SHEET OF THE CONSTRUCTION DOCUMENTS.
2. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.
3. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.
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10. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.

SHEET KEYNOTE

1. 1/8" = 1'-0" SCALE, UNLESS OTHERWISE NOTED.
2. 1/4" = 1'-0" SCALE, UNLESS OTHERWISE NOTED.
3. 1/2" = 1'-0" SCALE, UNLESS OTHERWISE NOTED.
4. 3/4" = 1'-0" SCALE, UNLESS OTHERWISE NOTED.
5. 1" = 1'-0" SCALE, UNLESS OTHERWISE NOTED.
6. 1 1/2" = 1'-0" SCALE, UNLESS OTHERWISE NOTED.
7. 2" = 1'-0" SCALE, UNLESS OTHERWISE NOTED.
8. 3" = 1'-0" SCALE, UNLESS OTHERWISE NOTED.
9. 4" = 1'-0" SCALE, UNLESS OTHERWISE NOTED.
10. 6" = 1'-0" SCALE, UNLESS OTHERWISE NOTED.



Charles G. Grier
ARCHITECT
100% CONSTRUCTION DOCUMENTS

DYRON MURPHY ARCHITECTS, P.C.

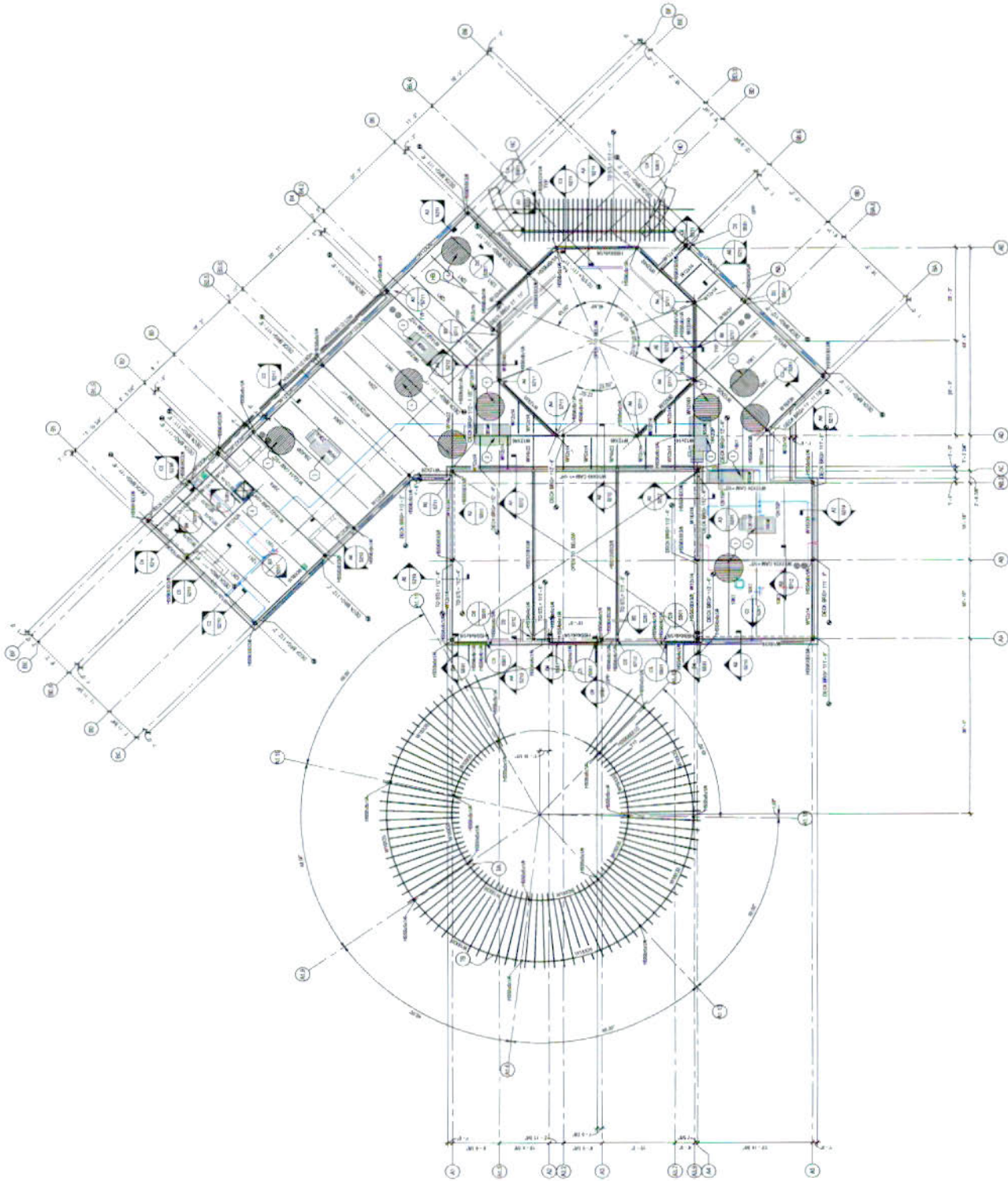


4025 Mountain View Rd., Albuquerque, New Mexico 87121

LOW ROOF FRAMING PLAN

Revision	By	Date	Description
1	CG	01/16/17	Initial Design
2	CG	01/16/17	Final Design

S111



A6 LOW ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

TONALEA CHAPTER
REPLACEMENT
BUILDING

INDIAN ROUTE 21, TONALEA, ARIZONA
100% CONSTRUCTION DOCUMENTS

JANUARY 16, 2017

GENERAL SHEET NOTES

1. SEE GENERAL NOTES FOR ALL NOTES.
2. NOTE TO DESIGNER: LAYOUT OF THE BUILDING IS BASED ON THE EXISTING BUILDING. THE EXISTING BUILDING IS A 100% CONSTRUCTION DOCUMENT. THE EXISTING BUILDING IS A 100% CONSTRUCTION DOCUMENT. THE EXISTING BUILDING IS A 100% CONSTRUCTION DOCUMENT.
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SHEET KEYNOTE

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DYRON MURPHY ARCHITECTS, P.C.

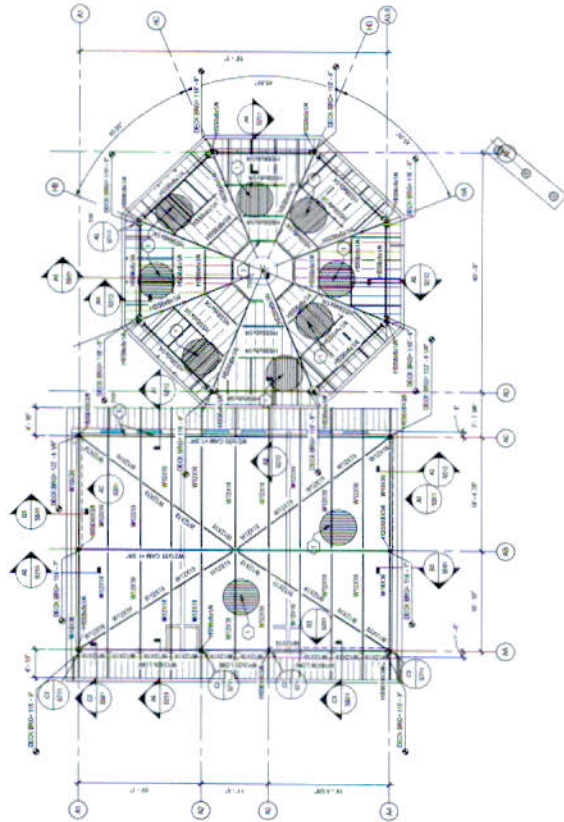


DYRON MURPHY ARCHITECTS, P.C.

HIGH ROOF FRAMING PLAN

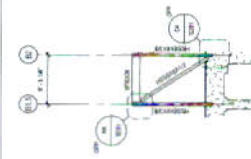
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2	DM	01/16/17	Revised Design
3	DM	01/16/17	Final Design

S121

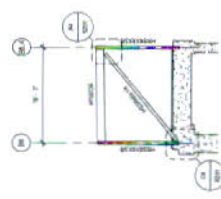


A HIGH ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

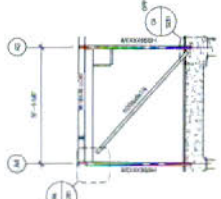




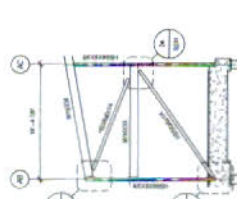
D2 BRACED FRAME ELEVATION
SCALE 1/8" = 1'-0"



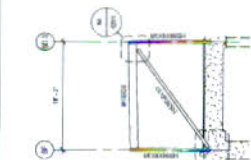
C2 BRACED FRAME ELEVATION
SCALE 1/8" = 1'-0"



B2 BRACED FRAME ELEVATION
SCALE 1/8" = 1'-0"



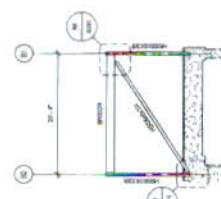
A2 BRACED FRAME ELEVATION
SCALE 1/8" = 1'-0"



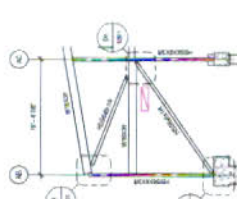
D3 BRACED FRAME ELEVATION
SCALE 1/8" = 1'-0"



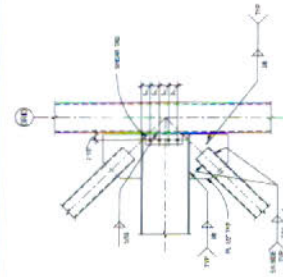
C3 BRACED FRAME ELEVATION
SCALE 1/8" = 1'-0"



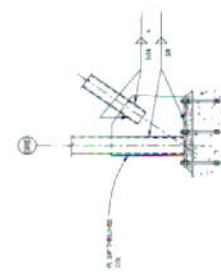
B3 BRACED FRAME ELEVATION
SCALE 1/8" = 1'-0"



A3 BRACED FRAME ELEVATION
SCALE 1/8" = 1'-0"



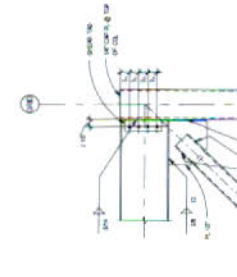
D4 HSS COLUMN (BRACE ON TOP/BOT)
SCALE 1/8" = 1'-0"



C4 BRACED FRAME CONNECTION
SCALE 1/8" = 1'-0"



B4 BRACED FRAME ELEVATION
SCALE 1/8" = 1'-0"



A4 HSS COLUMN (BRACE ON BOT)
SCALE 1/8" = 1'-0"



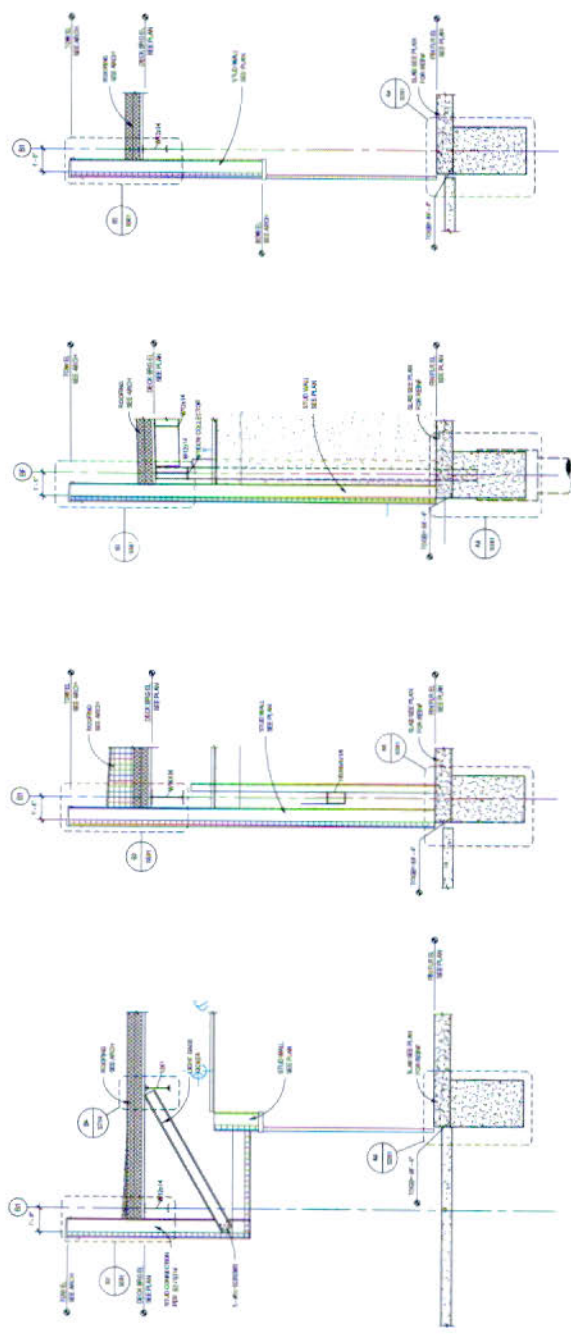
S210 ENGINEERS
REGISTERED PROFESSIONAL ENGINEERING FIRM
IN THE STATE OF ARIZONA
2000 Mountain Plaza SE, Albuquerque, New Mexico 87102
DYRON MURPHY ARCHITECTS, P.C.
2000 Mountain Plaza SE, Albuquerque, New Mexico 87102

WALL SECTIONS

Revision Number	Description	Date	By	Check
1	Initial	1/16/17	SM	SM
2	Revised	1/16/17	SM	SM

Drawn: SM
Checked: SM
Date: 1/16/17

S210

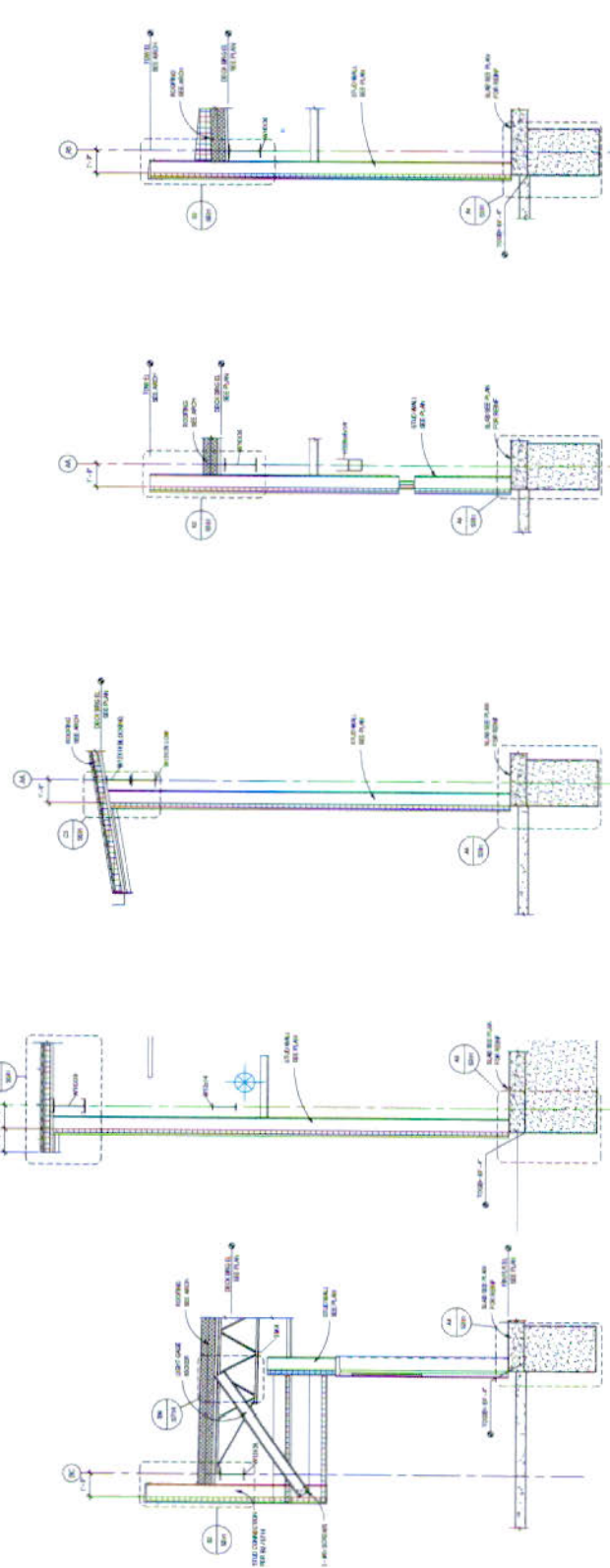


C2 WALL SECTION
SCALE: 1/8" = 1'-0"

C3 WALL SECTION
SCALE: 1/8" = 1'-0"

C4 WALL SECTION
SCALE: 1/8" = 1'-0"

C5 WALL SECTION
SCALE: 1/8" = 1'-0"



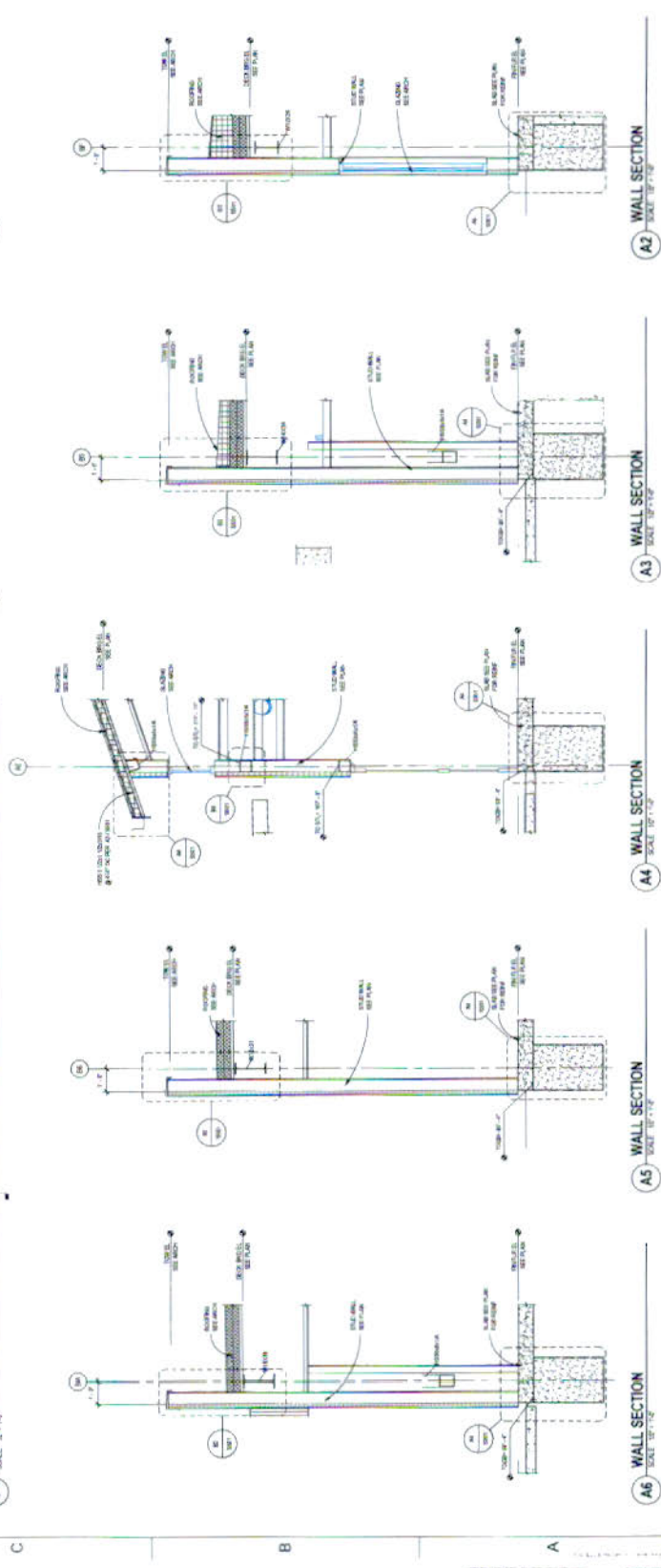
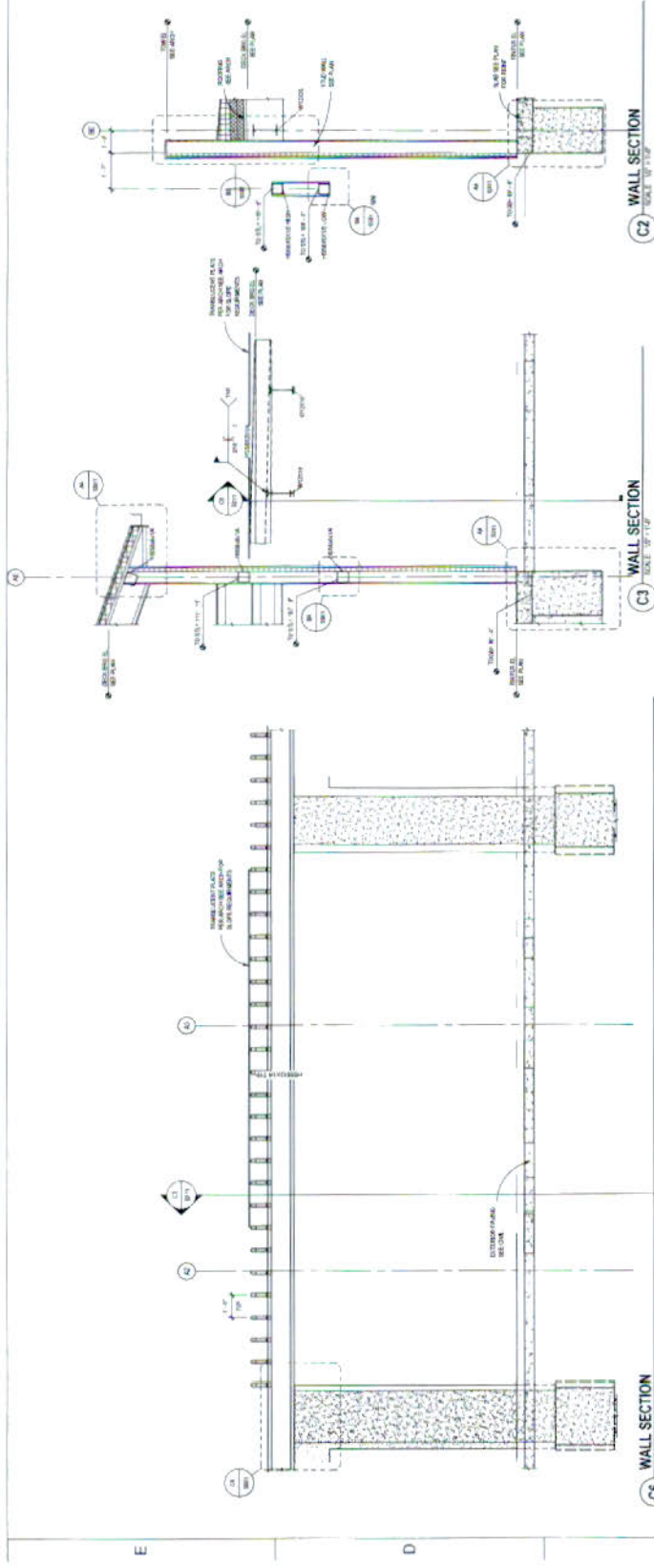
A2 WALL SECTION
SCALE: 1/8" = 1'-0"

A3 WALL SECTION
SCALE: 1/8" = 1'-0"

A4 WALL SECTION
SCALE: 1/8" = 1'-0"

A5 WALL SECTION
SCALE: 1/8" = 1'-0"

A6 WALL SECTION
SCALE: 1/8" = 1'-0"





CG CONSULTING ENGINEERS
REGISTERED PROFESSIONAL ENGINEERS
STATE OF ARIZONA

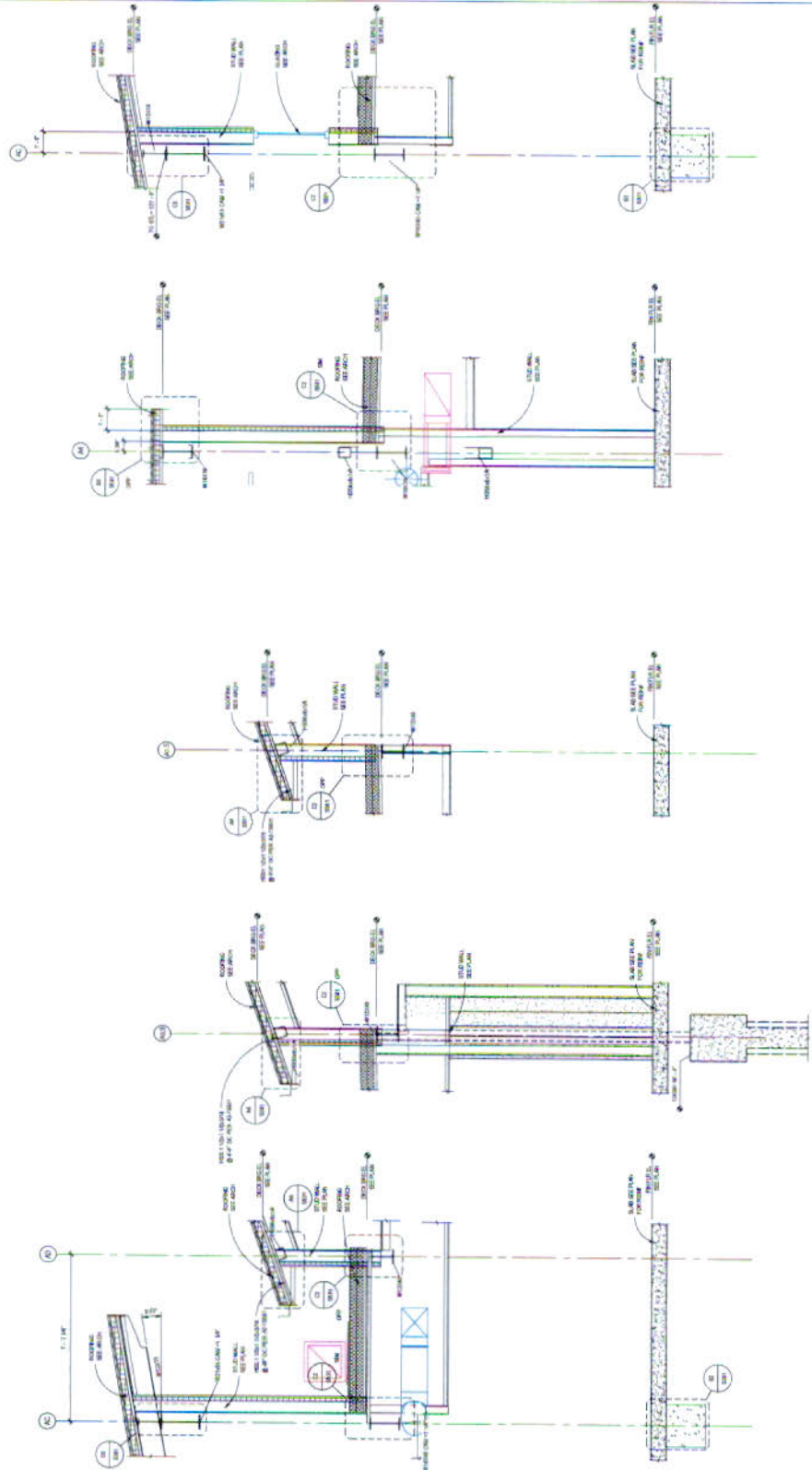
DYRON MURPHY ARCHITECTS, P.C.



4005 Marshall Plaza, NE Albuquerque, New Mexico 87107

WALL SECTIONS			
Revision Number	Revision Description	Date	Drawn/Checked
1	ISSUED FOR PERMIT	01/16/17	DM
2	REVISIONS	01/16/17	DM
3	REVISIONS	01/16/17	DM
4	REVISIONS	01/16/17	DM
5	REVISIONS	01/16/17	DM
6	REVISIONS	01/16/17	DM
7	REVISIONS	01/16/17	DM
8	REVISIONS	01/16/17	DM
9	REVISIONS	01/16/17	DM
10	REVISIONS	01/16/17	DM

S212



A1 WALL SECTION
SCALE: 1/8" = 1'-0"

A3 WALL SECTION
SCALE: 1/8" = 1'-0"

A4 WALL SECTION
SCALE: 1/8" = 1'-0"

A5 WALL SECTION
SCALE: 1/8" = 1'-0"

A6 WALL SECTION
SCALE: 1/8" = 1'-0"

TONALEA CHAPTER REPLACEMENT BUILDING

INDIAN ROUTE 21, TONALEA, ARIZONA
100% CONSTRUCTION DOCUMENTS

JANUARY 16, 2017



Charles & Grier

DYRON MURPHY ARCHITECTS, P.C.



4000 Marshall Plaza, Suite 200, Phoenix, Arizona 85018

FOUNDATION SECTIONS AND DETAILS

Revision	By	Date	Description
1	DM	01/16/17	ISSUED FOR PERMIT
2	DM	01/16/17	ISSUED FOR PERMIT
3	DM	01/16/17	ISSUED FOR PERMIT
4	DM	01/16/17	ISSUED FOR PERMIT
5	DM	01/16/17	ISSUED FOR PERMIT
6	DM	01/16/17	ISSUED FOR PERMIT
7	DM	01/16/17	ISSUED FOR PERMIT
8	DM	01/16/17	ISSUED FOR PERMIT
9	DM	01/16/17	ISSUED FOR PERMIT
10	DM	01/16/17	ISSUED FOR PERMIT

S301

Foundation

1

2

3

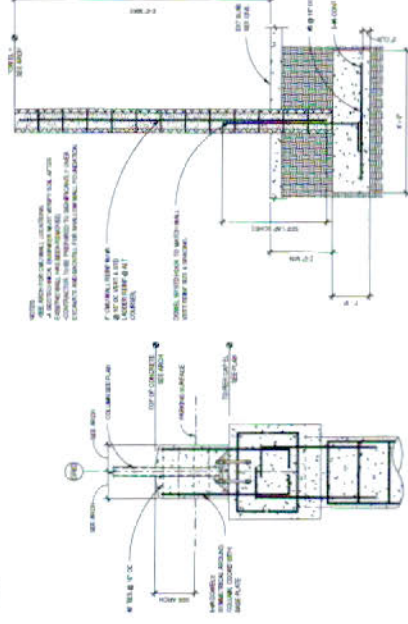
4

5

6



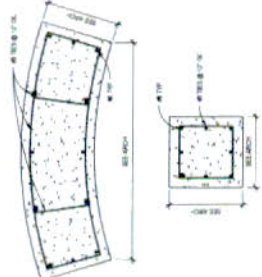
E3 PROPANE TANK FOUNDATION
SCALE: 1/4" = 1'-0"



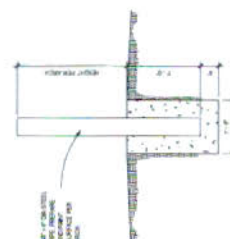
C3 SECTION AT TRELIS COLUMN
SCALE: 1/4" = 1'-0"

C2 DUMPSER ENCLOSURE SECTION
SCALE: 1/4" = 1'-0"

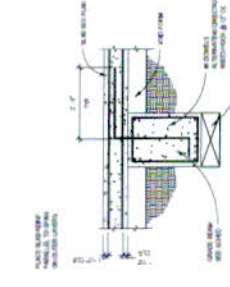
C4 SECTION THRU CONCRETE BEAM @ ENTRY
SCALE: 1/4" = 1'-0"



B4 CONCRETE COLUMN REINFORCEMENT
SCALE: 1/4" = 1'-0"



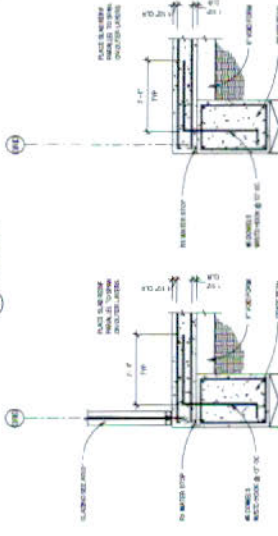
B3 PIPE BOLLARD
SCALE: 1/4" = 1'-0"



B2 TYPICAL FDTN INTERIOR SECTION
SCALE: 1/4" = 1'-0"



A5 SECTION @ COLUMN TO PIER CONNX
SCALE: 1/4" = 1'-0"



A4 TYPICAL FOUNDATION EXTERIOR SECTION
SCALE: 1/4" = 1'-0"

**TONALEA CHAPTER
REPLACEMENT
BUILDING**
INDIAN ROUTE 21, TONALEA, ARIZONA
100% CONSTRUCTION DOCUMENTS

JANUARY 16, 2017

GENERAL SHEET NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA BUILDING CODE, AS AMENDED.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ELECTRICAL CODE, AS AMENDED.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA MECHANICAL CODE, AS AMENDED.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA PLUMBING CODE, AS AMENDED.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA FIRE CODE, AS AMENDED.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA LANDSCAPE ARCHITECTURE CODE, AS AMENDED.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA SIGNAGE CODE, AS AMENDED.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ACCESSIBILITY STANDARDS, AS AMENDED.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA HISTORIC PRESERVATION ACT, AS AMENDED.

SHEET KEYNOTE

1. IF CONCRETE IS USED FOR FOUNDATION, IT SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA BUILDING CODE, AS AMENDED.
2. IF CONCRETE IS USED FOR FOUNDATION, IT SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ELECTRICAL CODE, AS AMENDED.
3. IF CONCRETE IS USED FOR FOUNDATION, IT SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA MECHANICAL CODE, AS AMENDED.
4. IF CONCRETE IS USED FOR FOUNDATION, IT SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA PLUMBING CODE, AS AMENDED.
5. IF CONCRETE IS USED FOR FOUNDATION, IT SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA FIRE CODE, AS AMENDED.
6. IF CONCRETE IS USED FOR FOUNDATION, IT SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA LANDSCAPE ARCHITECTURE CODE, AS AMENDED.
7. IF CONCRETE IS USED FOR FOUNDATION, IT SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA SIGNAGE CODE, AS AMENDED.
8. IF CONCRETE IS USED FOR FOUNDATION, IT SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ACCESSIBILITY STANDARDS, AS AMENDED.
9. IF CONCRETE IS USED FOR FOUNDATION, IT SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA HISTORIC PRESERVATION ACT, AS AMENDED.



DYRION MURPHY ARCHITECTS, P.C.

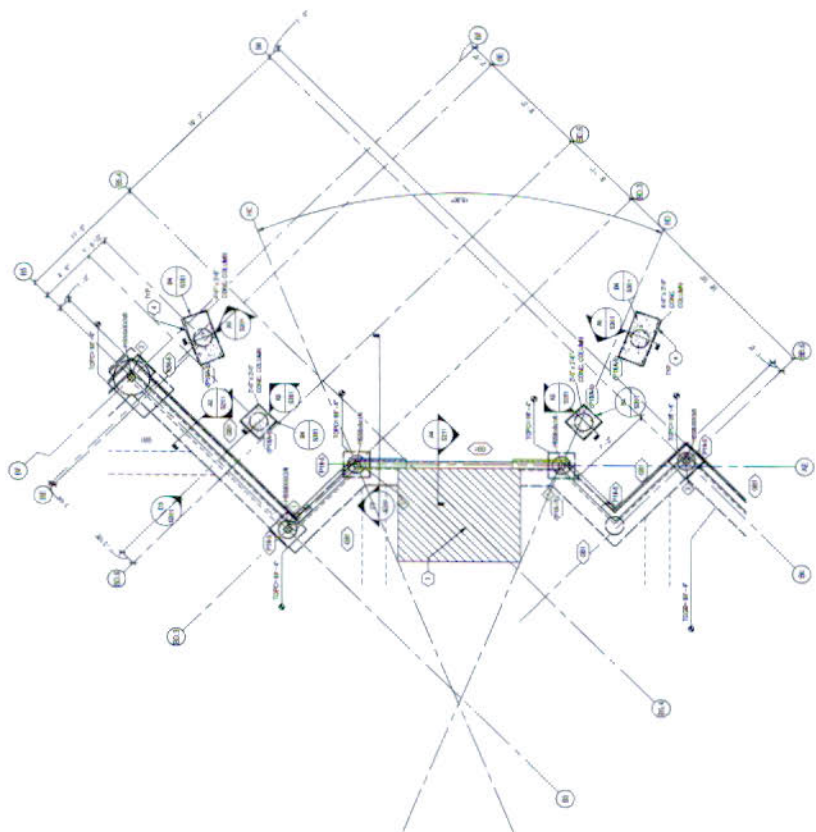


4075 Westview Plaza, Suite 100, Mesa, Arizona 85206

ENLARGED PLANS

Revision	Number	Date	Description
1	1	01/16/17	Initial Issue
2	2	01/16/17	Revised Foundation Plan
3	3	01/16/17	Revised Foundation Plan
4	4	01/16/17	Revised Foundation Plan
5	5	01/16/17	Revised Foundation Plan
6	6	01/16/17	Revised Foundation Plan
7	7	01/16/17	Revised Foundation Plan
8	8	01/16/17	Revised Foundation Plan
9	9	01/16/17	Revised Foundation Plan
10	10	01/16/17	Revised Foundation Plan

S401



FOUNDATION PLAN - ENTRY WAY



Chavez-Briseno
ARCHITECTS, P.C.

TYRON MURPHY ARCHITECTS, P.C.

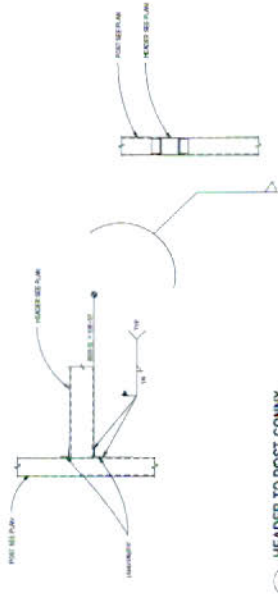


4000 Mitchell Plaza SE Albuquerque, New Mexico 87107

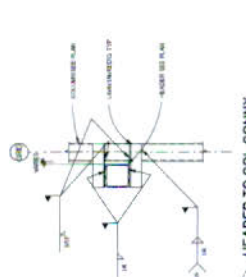
DETAILS			
Revision	Number	Date	Description
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4	4	1/16/17	ISSUED FOR PERMIT
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S501

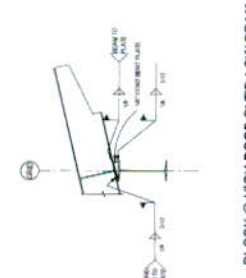
Revisions



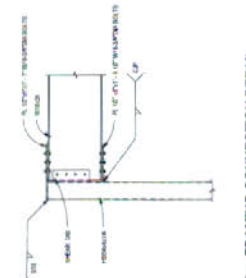
D6: HEADER TO POST CONNX.
SCALE 1/8" = 1'-0"



D4: HEADER TO COL CONNX.
SCALE 1/8" = 1'-0"



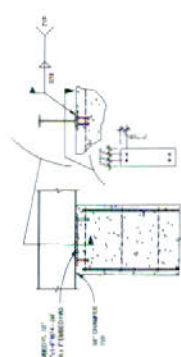
D3: BLOCK @ HIGH ROOF OVER LOW BEAM.
SCALE 1/8" = 1'-0"



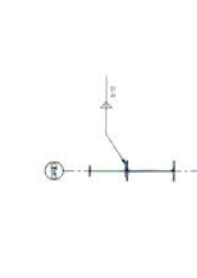
D2: FRAMING CONNECTION DETAIL.
SCALE 1/8" = 1'-0"



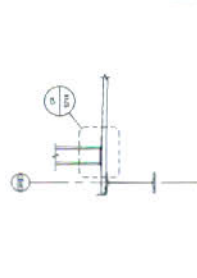
C5: HSS BEAM TO HSS BEAM CONNX.
SCALE 1/8" = 1'-0"



C4: EMBED PL @ TRELLIS SUPPORT.
SCALE 1/8" = 1'-0"



C3: BRACED FRAME BLOCKING CONNX.
SCALE 1/8" = 1'-0"



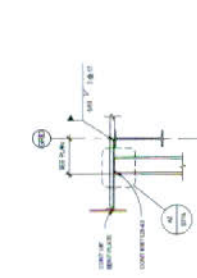
C2: ROOF FRAMING SECTION.
SCALE 1/8" = 1'-0"



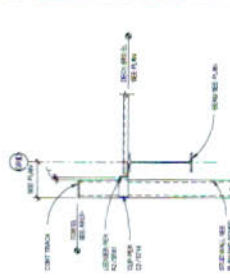
B6: SECTION @ LOW ROOF HSS TO BEAM.
SCALE 1/8" = 1'-0"



B4: HSS GIRT AT SHADE STRUCT.
SCALE 1/8" = 1'-0"



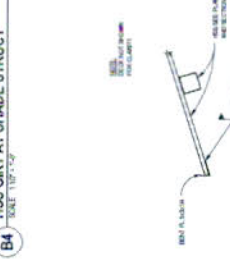
B3: CANTILEVERED DECK EDGE.
SCALE 1/8" = 1'-0"



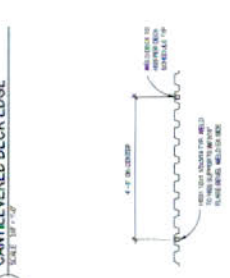
B2: SECTION AT ROOF EDGE BEAM.
SCALE 1/8" = 1'-0"



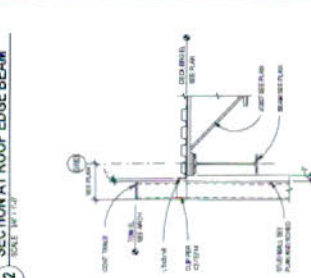
A6: HOGAN SECTION.
SCALE 1/8" = 1'-0"



A4: CANTED HSS AT ROOF EDGE.
SCALE 1/8" = 1'-0"



A3: CANTILEVERED DECK SUPPORT.
SCALE 1/8" = 1'-0"



A2: SECTION AT ROOF EDGE JOIST.
SCALE 1/8" = 1'-0"

1

2

3

4

5

6

TONALEA CHAPTER
REPLACEMENT
BUILDING

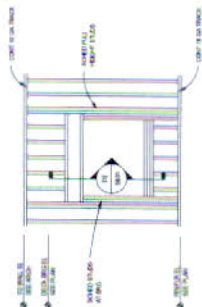
INDIAN ROUTE 21, TONALEA, ARIZONA
100% CONSTRUCTION DOCUMENTS

JANUARY 16, 2017

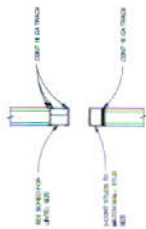
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S601

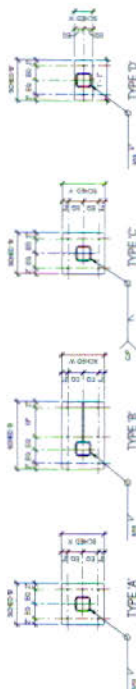
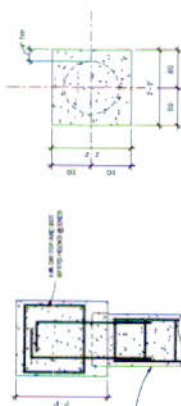
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1995	1	2	3	4	5	1	2	3	4	5	1	2	3	4	5	1	2	3	4	5	1	2	3	4	5



07 COLD FORMED LINTEL ELEV



02 COLD-FORMED LINTEL SECTION

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NO.	NAME	DATE	PAGE	NO.	NAME
1
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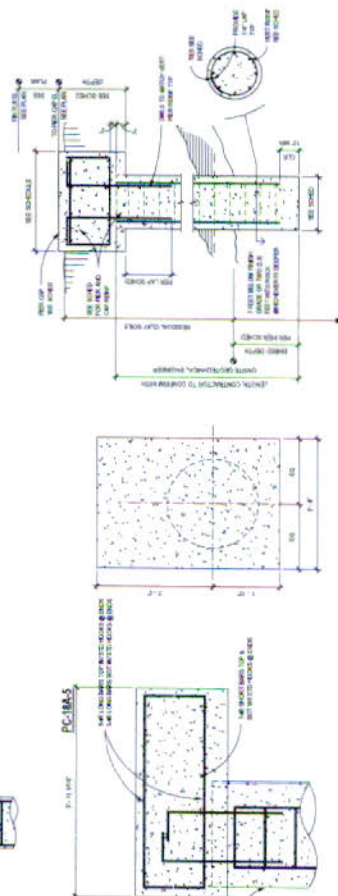
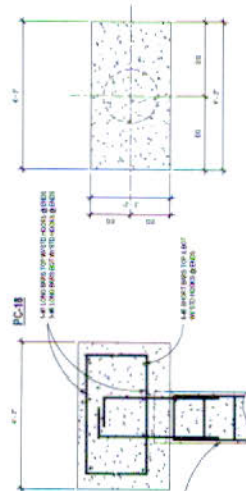


TABLE 1	
Material	Chemical composition, wt %
Fe-18	Fe-18Cr-10Ni-10Co-10Al-10Ti-10Nb-10Mo-10W-10V-10Cu-10Zn-10Mn-10Si-10P-10S-10N-10O-10H-10C-10B-10F-10Cl-10Br-10I-10J-10K-10L-10M-10N-10O-10P-10Q-10R-10S-10T-10U-10V-10W-10X-10Y-10Z-10AA-10AB-10AC-10AD-10AE-10AF-10AG-10AH-10AI-10AJ-10AK-10AL-10AM-10AN-10AO-10AP-10AQ-10AR-10AS-10AT-10AU-10AV-10AW-10AX-10AY-10AZ-10BA-10BB-10BC-10BD-10BE-10BF-10BG-10BH-10BI-10BJ-10BK-10BL-10BM-10BN-10BO-10BP-10BQ-10BR-10BS-10BT-10BU-10BV-10BW-10BX-10BY-10BZ-10CA-10CB-10CC-10CD-10CE-10CF-10CG-10CH-10CI-10CJ-10CK-10CL-10CM-10CN-10CO-10CP-10CQ-10CR-10CS-10CT-10CU-10CV-10CW-10CX-10CY-10CZ-10DA-10DB-10DC-10DD-10DE-10DF-10DG-10DH-10DI-10DJ-10DK-10DL-10DM-10DN-10DO-10DP-10DQ-10DR-10DS-10DT-10DU-10DV-10DW-10DX-10DY-10DZ-10EA-10EB-10EC-10ED-10EE-10EF-10EG-10EH-10EI-10EJ-10EK-10EL-10EM-10EN-10EO-10EP-10EQ-10ER-10ES-10ET-10EU-10EV-10EW-10EX-10EY-10EZ-10FA-10FB-10FC-10FD-10FE-10FF-10FG-10FH-10FI-10FJ-10FK-10FL-10FM-10FN-10FO-10FP-10FQ-10FR-10FS-10FT-10FU-10FV-10FW-10FX-10FY-10FZ-10GA-10GB-10GC-10GD-10GE-10GF-10GG-10GH-10GI-10GJ-10GK-10GL-10GM-10GN-10GO-10GP-10GQ-10GR-10GS-10GT-10GU-10GV-10GW-10GX-10GY-10GZ-10HA-10HB-10HC-10HD-10HE-10HF-10HG-10HH-10HI-10HJ-10HK-10HL-10HM-10HN-10HO-10HP-10HQ-10HR-10HS-10HT-10HU-10HV-10HW-10HX-10HY-10HZ-10IA-10IB-10IC-10ID-10IE-10IF-10IG-10IH-10IJ-10IK-10IL-10IM-10IN-10IO-10IP-10IQ-10IR-10IS-10IT-10IU-10IV-10IW-10IX-10IY-10IZ-10JA-10JB-10JC-10JD-10JE-10JF-10JG-10JH-10JI-10JJ-10JK-10JL-10JM-10JN-10JO-10JP-10JQ-10JR-10JS-10JT-10JU-10JV-10JW-10JX-10JY-10JZ-10KA-10KB-10KC-10KD-10KE-10KF-10KG-10KH-10KI-10KJ-10KK-10KL-10KM-10KN-10KO-10KP-10KQ-10KR-10KS-10KT-10KU-10KV-10KW-10KX-10KY-10KZ-10LA-10LB-10LC-10LD-10LE-10LF-10LG-10LH-10LI-10LJ-10LK-10LL-10LM-10LN-10LO-10LP-10LQ-10LR-10LS-10LT-10LU-10LV-10LW-10LX-10LY-10LZ-10MA-10MB-10MC-10MD-10ME-10MF-10MG-10MH-10MI-10MJ-10MK-10ML-10MM-10MN-10MO-10MP-10MQ-10MR-10MS-10MT-10MU-10MV-10MW-10MX-10MY-10MZ-10NA-10NB-10NC-10ND-10NE-10NF-10NG-10NH-10NI-10NJ-10NK-10NL-10NM-10NN-10NO-10NP-10NQ-10NR-10NS-10NT-10NU-10NV-10NW-10NX-10NY-10NZ-10OA-10OB-10OC-10OD-10OE-10OF-10OG-10OH-10OI-10OJ-10OK-10OL-10OM-10ON-10OO-10OP-10OQ-10OR-10OS-10OT-10OU-10OV-10OW-10OX-10OY-10OZ-10PA-10PB-10PC-10PD-10PE-10PF-10PG-10PH-10PI-10PJ-10PK-10PL-10PM-10PN-10PO-10PP-10PQ-10PR-10PS-10PT-10PU-10PV-10PW-10PX-10PY-10PZ-10QA-10QB-10QC-10QD-10QE-10QF-10QG-10QH-10QI-10QJ-10QK-10QL-10QM-10QN-10QO-10QP-10QQ-10QR-10QS-10QT-10QU-10QV-10QW-10QX-10QY-10QZ-10RA-10RB-10RC-10RD-10RE-10RF-10RG-10RH-10RI-10RJ-10RK-10RL-10RM-10RN-10RO-10RP-10RQ-10RR-10RS-10RT-10RU-10RV-10RW-10RX-10RY-10RZ-10SA-10SB-10SC-10SD-10SE-10SF-10SG-10SH-10SI-10SJ-10SK-10SL-10SM-10SN-10SO-10SP-10SQ-10SR-10SS-10ST-10SU-10SV-10SW-10SX-10SY-10SZ-10TA-10TB-10TC-10TD-10TE-10TF-10TG-10TH-10TI-10TJ-10TK-10TL-10TM-10TN-10TO-10TP-10TQ-10TR-10TS-10TT-10TU-10TV-10TW-10TX-10TY-10TZ-10UA-10UB-10UC-10UD-10UE-10UF-10UG-10UH-10UI-10UJ-10UK-10UL-10UM-10UN-10UO-10UP-10UQ-10UR-10US-10UT-10UU-10UV-10UW-10UX-10UY-10UZ-10VA-10VB-10VC-10VD-10VE-10VF-10VG-10VH-10VI-10VJ-10VK-10VL-10VM-10VN-10VO-10VP-10VQ-10VR-10VS-10VT-10VU-10VV-10VW-10VX-10VY-10VZ-10WA-10WB-10WC-10WD-10WE-10WF-10WG-10WH-10WI-10WJ-10WK-10WL-10WM-10WN-10WO-10WP-10WQ-10WR-10WS-10WT-10WU-10WV-10WW-10WX-10WY-10WZ-10XA-10XB-10XC-10XD-10XE-10XF-10XG-10XH-10XI-10XJ-10XK-10XL-10XM-10XN-10XO-10XP-10XQ-10XR-10XS-10XT-10XU-10XV-10XW-10XX-10XY-10XZ-10YA-10YB-10YC-10YD-10YE-10YF-10YG-10YH-10YI-10YJ-10YK-10YL-10YM-10YN-10YO-10YP-10YQ-10YR-10YS-10YT-10YU-10YV-10YW-10YX-10YY-10YZ-10ZA-10ZB-10ZC-10ZD-10ZE-10ZF-10ZG-10ZH-10ZI-10ZJ-10ZK-10ZL-10ZM-10ZN-10ZO-10ZP-10ZQ-10ZR-10ZS-10ZT-10ZU-10ZV-10ZW-10ZX-10ZY-10ZZ-10AA-10AB-10AC-10AD-10AE-10AF-10AG-10AH-10AI-10AJ-10AK-10AL-10AM-10AN-10AO-10AP-10AQ-10AR-10AS-10AT-10AU-10AV-10AW-10AX-10AY-10AZ-10BA-10BB-10BC-10BD-10BE-10BF-10BG-10BH-10BI-10BJ-10BK-10BL-10BM-10BN-10BO-10BP-10BQ-10BR-10BS-10BT-10BU-10BV-10BW-10BX-10BY-10BZ-10CA-10CB-10CC-10CD-10CE-10CF-10CG-10CH-10CI-10CJ-10CK-10CL-10CM-10CN-10CO-10CP-10CQ-10CR-10CS-10CT-10CU-10CV-10CW-10CX-10CY-10CZ-10DA-10DB-10DC-10DD-10DE-10DF-10DG-10DH-10DI-10DJ-10DK-10DL-10DM-10DN-10DO-10DP-10DQ-10DR-10DS-10DT-10DU-10DV-10DW-10DX-10DY-10DZ-10EA-10EB-10EC-10ED-10EE-10EF-10EG-10EH-10EI-10EJ-10EK-10EL-10EM-10EN-10EO-10EP-10EQ-10ER-10ES-10ET-10EU-10EV-10EW-10EX-10EY-10EZ-10FA-10FB-10FC-10FD-10FE-10FF-10FG-10FH-10FI-10FJ-10FK-10FL-10FM-10FN-10FO-10FP-10FQ-10FR-10FS-10FT-10FU-10FV-10FW-10FX-10FY-10FZ-10GA-10GB-10GC-10GD-10GE-10GF-10GG-10GH-10GI-10GJ-10GK-10GL-10GM-10GN-10GO-10GP-10GQ-10GR-10GS-10GT-10GU-10GV-10GW-10GX-10GY-10GZ-10HA-10HB-10HC-10HD-10HE-10HF-10HG-10HH-10HI-10HJ-10HK-10HL-10HM-10HN-10HO-10HP-10HQ-10HR-10HS-10HT-10HU-10HV-10HW-10HX-10HY-10HZ-10IA-10IB-10IC-10ID-10IE-10IF-10IG-10IH-10IJ-10IK-10IL-10IM-10IN-10IO-10IP-10IQ-10IR-10IS-10IT-10IU-10IV-10IW-10IX-10IY-10IZ-10JA-10JB-10JC-10JD-10JE-10JF-10JG-10JH-10JI-10JJ-10JK-10JL-10JM-10JN-10JO-10JP-10JQ-10JR-10JS-10JT-1

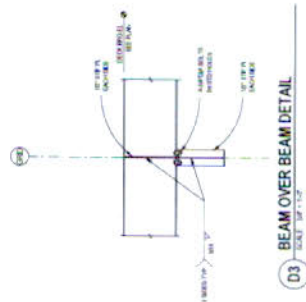
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2	2	Revised	1/16/17
3	3	Revised	1/16/17
4	4	Revised	1/16/17
5	5	Revised	1/16/17
6	6	Revised	1/16/17
7	7	Revised	1/16/17
8	8	Revised	1/16/17
9	9	Revised	1/16/17
10	10	Revised	1/16/17

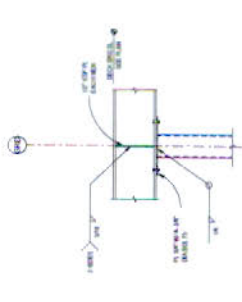
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Sheet Number

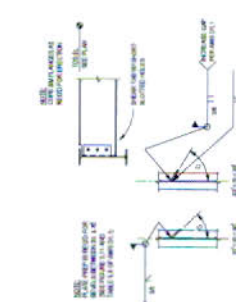
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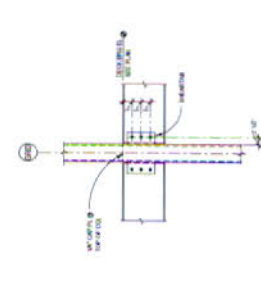
D3 BEAM OVER BEAM DETAIL
SCALE: 1/4\"/>



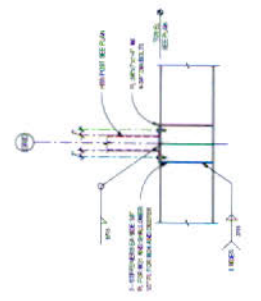
C3 WF BEAM OVER COL CONN
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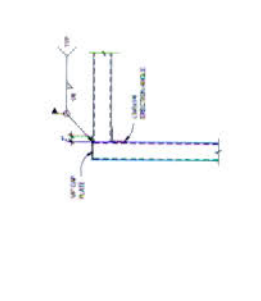
B3 BEAM TO BEAM CONN SKEWED
SCALE: 1/4\"/>



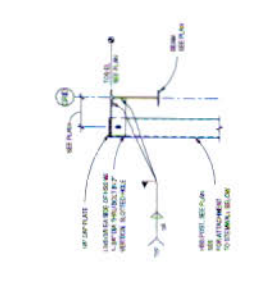
A3 BEAM TO HSS COL CONN
SCALE: 1/4\"/>



A4 HSS COL TO TRANSFER GIRDER
SCALE: 1/4\"/>



A5 HSS TO HSS MOMENT CONNX
SCALE: 1/4\"/>



A6 TYPICAL POST TO ROOF BEAM CONN
SCALE: 1/4\"/>

A2 CONNECTION GENERAL NOTES
SCALE: 1/4\"/>

1

2

3

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5

6

TONALEA CHAPTER
REPLACEMENT
BUILDING

INDIAN ROUTE 21 TONALEA, ARIZONA
100% CONSTRUCTION DOCUMENTS

JANUARY 16, 2017

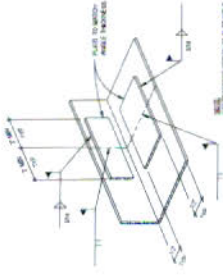
TYPICAL FRAMING
SECTIONS AND DETAILS

S712

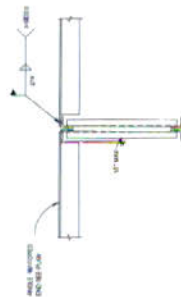
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1	CG	01/16/17	ISSUED FOR PERMIT

Revision	By	Date	Description
1	CG	01/16/17	ISSUED FOR PERMIT

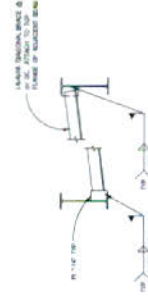
SECTION



D5 TYPICAL PERIMETER ANGLE SPLICE
SCALE: 3/8\"/>



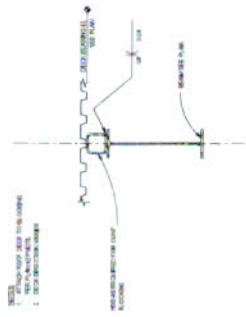
D4 ANGLE TO JOIST CONN
SCALE: 3/8\"/>



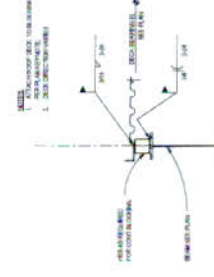
D3 DIAGONAL ANGLE BRACE AT BEAM
SCALE: 3/8\"/>



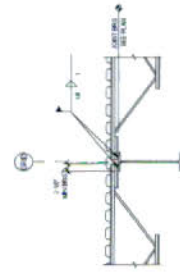
D2 HANGER SECTION
SCALE: 1/2\"/>



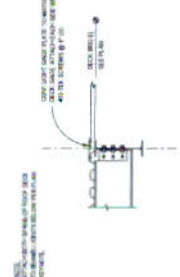
C3 HSS COLLECTOR AT BEAM
SCALE: 1/2\"/>



B2 HSS COLLECTOR AT EDGE BEAM
SCALE: 3/8\"/>



A3 JOIST BEARING AT BEAM
SCALE: 3/8\"/>



A2 ROOF DECK TRANSITION
SCALE: 3/8\"/>



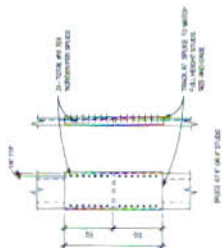
CHRISTOF-RIEVES
ARCHITECTS, P.C.

1000 N. GILBERT STREET, SUITE 100
TAMPA, FL 33602

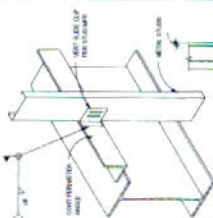


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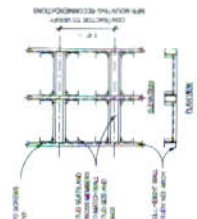
4000 N. GILBERT STREET, SUITE 100
TAMPA, FL 33602



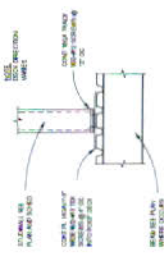
D2 DETAIL LG STUD SPICE
SCALE: 1/2" = 1'-0"



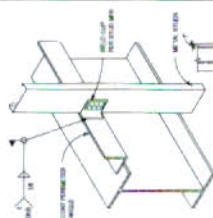
C2 VERTICAL SLIDE CLIP
SCALE: 1/2" = 1'-0"



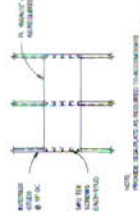
C3 LG WALL MOUNTING DETL 500 LBS MAX
SCALE: 1/2" = 1'-0"



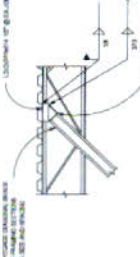
C4 STUDWALL BEARING ON ROOF DECK
SCALE: 1/2" = 1'-0"



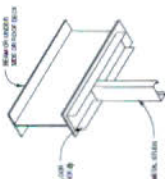
B2 WELD CLIP
SCALE: 1/2" = 1'-0"



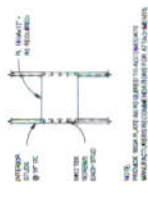
B3 LG WALL MOUNTING DETAIL 150 LBS MAX
SCALE: 1/2" = 1'-0"



B4 DIAG BRACE TO METAL DECK
SCALE: 1/2" = 1'-0"



A2 SLIP TRACK ASSEMBLY
SCALE: 1/2" = 1'-0"



A3 LG WALL MOUNTING DETL 80 LBS MAX
SCALE: 1/2" = 1'-0"

TYPICAL FRAMING
SECTIONS AND DETAILS

S714



CHARREL-GRAVES
ENGINEERING & ARCHITECTURE, INC.
1000 N. GILBERT AVENUE, SUITE 100
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TAMPA, FL 33604
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CGS Section Type 100 - Miscellaneous - Steel Details S714

Revisions	Revisions Schedule	Revisions	Revisions
Number	Date	By	Check
1	01/16/17	DM	CG
2	01/16/17	DM	CG
3	01/16/17	DM	CG
4	01/16/17	DM	CG
5	01/16/17	DM	CG
6	01/16/17	DM	CG
7	01/16/17	DM	CG
8	01/16/17	DM	CG
9	01/16/17	DM	CG
10	01/16/17	DM	CG

Revisions

TONALEA CHAPTER
REPLACEMENT
BUILDING

INDIAN ROUTE 21, TONALEA, ARIZONA
100 % CONSTRUCTION DOCUMENTS
JANUARY 15, 2017

GENERAL NOTES

- [illegible]

KEYED NOTES

- [illegible]

ACCESSIBLE PARKING COUNT

- [illegible]

Table 1. Mean Number of Plants per Pot
($20 \times 20 \times 20$ cm) (Mean \pm SD)

Leaf Number	Plant Density	Mean Number of Plants per Pot
1 to 25	100	1.0 \pm 0.2
26 to 50	100	1.0 \pm 0.2
51 to 75	100	1.0 \pm 0.2
76 to 100	100	1.0 \pm 0.2
101 to 125	100	1.0 \pm 0.2
126 to 150	100	1.0 \pm 0.2
151 to 175	100	1.0 \pm 0.2
176 to 200	100	1.0 \pm 0.2
201 to 225	100	1.0 \pm 0.2
226 to 250	100	1.0 \pm 0.2
251 to 275	100	1.0 \pm 0.2
276 to 300	100	1.0 \pm 0.2
301 to 325	100	1.0 \pm 0.2
326 to 350	100	1.0 \pm 0.2
351 to 375	100	1.0 \pm 0.2
376 to 400	100	1.0 \pm 0.2
401 to 425	100	1.0 \pm 0.2
426 to 450	100	1.0 \pm 0.2
451 to 475	100	1.0 \pm 0.2
476 to 500	100	1.0 \pm 0.2
501 to 525	100	1.0 \pm 0.2
526 to 550	100	1.0 \pm 0.2
551 to 575	100	1.0 \pm 0.2
576 to 600	100	1.0 \pm 0.2
601 to 625	100	1.0 \pm 0.2
626 to 650	100	1.0 \pm 0.2
651 to 675	100	1.0 \pm 0.2
676 to 700	100	1.0 \pm 0.2
701 to 725	100	1.0 \pm 0.2
726 to 750	100	1.0 \pm 0.2
751 to 775	100	1.0 \pm 0.2
776 to 800	100	1.0 \pm 0.2
801 to 825	100	1.0 \pm 0.2
826 to 850	100	1.0 \pm 0.2
851 to 875	100	1.0 \pm 0.2
876 to 900	100	1.0 \pm 0.2
901 to 925	100	1.0 \pm 0.2
926 to 950	100	1.0 \pm 0.2
951 to 975	100	1.0 \pm 0.2
976 to 1000	100	1.0 \pm 0.2
1001 to 1025	100	1.0 \pm 0.2
1026 to 1050	100	1.0 \pm 0.2
1051 to 1075	100	1.0 \pm 0.2
1076 to 1100	100	1.0 \pm 0.2
1101 to 1125	100	1.0 \pm 0.2
1126 to 1150	100	1.0 \pm 0.2
1151 to 1175	100	1.0 \pm 0.2
1176 to 1200	100	1.0 \pm 0.2
1201 to 1225	100	1.0 \pm 0.2
1226 to 1250	100	1.0 \pm 0.2
1251 to 1275	100	1.0 \pm 0.2
1276 to 1300	100	1.0 \pm 0.2
1301 to 1325	100	1.0 \pm 0.2
1326 to 1350	100	1.0 \pm 0.2
1351 to 1375	100	1.0 \pm 0.2
1376 to 1400	100	1.0 \pm 0.2
1401 to 1425	100	1.0 \pm 0.2
1426 to 1450	100	1.0 \pm 0.2
1451 to 1475	100	1.0 \pm 0.2
1476 to 1500	100	1.0 \pm 0.2
1501 to 1525	100	1.0 \pm 0.2
1526 to 1550	100	1.0 \pm 0.2
1551 to 1575	100	1.0 \pm 0.2
1576 to 1600	100	1.0 \pm 0.2
1601 to 1625	100	1.0 \pm 0.2
1626 to 1650	100	1.0 \pm 0.2
1651 to 1675	100	1.0 \pm 0.2
1676 to 1700	100	1.0 \pm 0.2
1701 to 1725	100	1.0 \pm 0.2
1726 to 1750	100	1.0 \pm 0.2
1751 to 1775	100	1.0 \pm 0.2
1776 to 1800	100	1.0 \pm 0.2
1801 to 1825	100	1.0 \pm 0.2
1826 to 1850	100	1.0 \pm 0.2
1851 to 1875	100	1.0 \pm 0.2
1876 to 1900	100	1.0 \pm 0.2
1901 to 1925	100	1.0 \pm 0.2
1926 to 1950	100	1.0 \pm 0.2
1951 to 1975	100	1.0 \pm 0.2
1976 to 2000	100	1.0 \pm 0.2
2001 to 2025	100	1.0 \pm 0.2
2026 to 2050	100	1.0 \pm 0.2
2051 to 2075	100	1.0 \pm 0.2
2076 to 2100	100	1.0 \pm 0.2
2101 to 2125	100	1.0 \pm 0.2
2126 to 2150	100	1.0 \pm 0.2
2151 to 2175	100	1.0 \pm 0.2
2176 to 2200	100	1.0 \pm 0.2
2201 to 2225	100	1.0 \pm 0.2</

smaller than those. For example, in the case of a 1000-ton vessel, the cost of the vessel is about 10% of the total cost of the project.

DYRON MURPHY ARCHITECTS P.C.



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ENLARGED SITE PLAN

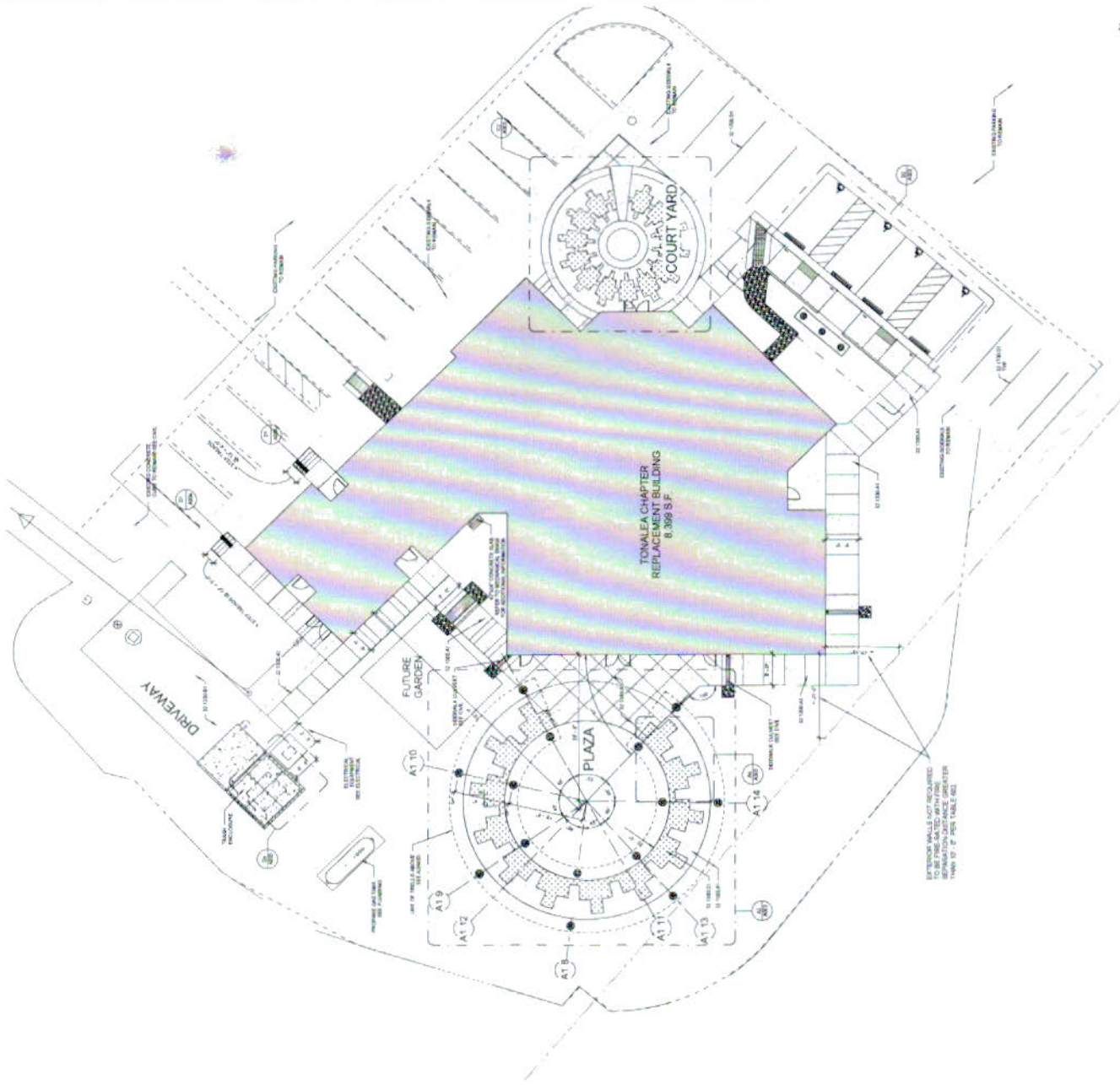
NOT FOR
CONSTRUCTION

Revision Schedule		
Revision Number	Revision Date	Revision Description

[illegible]

A002

A5 **ENLARGED SITE PLAN**



1

2

10

TONALEA CHAPTER REPLACEMENT BUILDING

INDIAN ROUTE 21, TONALEA, ARIZONA
100 % CONSTRUCTION DOCUMENTS
JANUARY 18, 2017

KEYED NOTES

- 1. SEE PLAN FOR LOCATION OF ALL NOTES.
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA BUILDING CODE.
- 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ELECTRICAL CODE.
- 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA MECHANICAL CODE.
- 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA PLUMBING CODE.
- 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA FIRE CODE.
- 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA LANDSCAPE ARCHITECTURE CODE.
- 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ENVIRONMENTAL CODE.
- 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA HISTORIC PRESERVATION CODE.
- 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA CULTURAL HERITAGE CODE.
- 11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ANTI-CORRUPTION CODE.
- 12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA CONSUMER PROTECTION CODE.
- 13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA EMPLOYMENT LAW.
- 14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA LABOR LAW.
- 15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA TAX LAW.
- 16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA FINANCIAL LAW.
- 17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA REAL ESTATE LAW.
- 18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA PROFESSIONAL CONDUCT CODE.
- 19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA JUDICIAL BRANCH CODE.
- 20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA LEGISLATIVE BRANCH CODE.
- 21. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA EXECUTIVE BRANCH CODE.
- 22. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA JUDICIAL BRANCH CODE.
- 23. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA LEGISLATIVE BRANCH CODE.
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- 30. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA EXECUTIVE BRANCH CODE.

DYRON MURPHY ARCHITECTS, P.C.



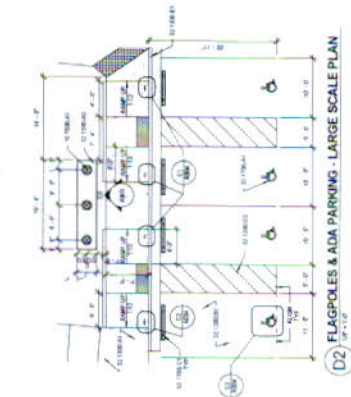
100% MASTER PLAN - 100% ARCHITECTURE, 100% MECHANICAL, 100% ELECTRICAL, 100% PLUMBING, 100% LANDSCAPE ARCHITECTURE, 100% ENVIRONMENTAL, 100% HISTORIC PRESERVATION, 100% CULTURAL HERITAGE, 100% ANTI-CORRUPTION, 100% CONSUMER PROTECTION, 100% EMPLOYMENT LAW, 100% LABOR LAW, 100% TAX LAW, 100% FINANCIAL LAW, 100% REAL ESTATE LAW, 100% PROFESSIONAL CONDUCT, 100% JUDICIAL BRANCH, 100% LEGISLATIVE BRANCH, 100% EXECUTIVE BRANCH.

NOT FOR CONSTRUCTION
SITE LARGE SCALE PLAN & DETAILS

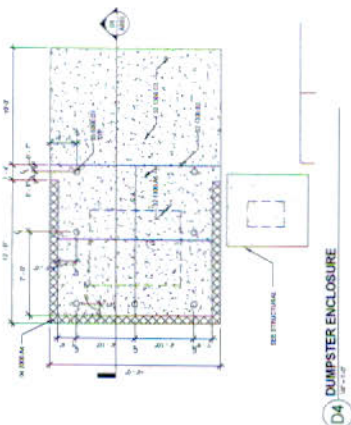
Revision	Number	Date	Description
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100% MASTER PLAN - 100% ARCHITECTURE, 100% MECHANICAL, 100% ELECTRICAL, 100% PLUMBING, 100% LANDSCAPE ARCHITECTURE, 100% ENVIRONMENTAL, 100% HISTORIC PRESERVATION, 100% CULTURAL HERITAGE, 100% ANTI-CORRUPTION, 100% CONSUMER PROTECTION, 100% EMPLOYMENT LAW, 100% LABOR LAW, 100% TAX LAW, 100% FINANCIAL LAW, 100% REAL ESTATE LAW, 100% PROFESSIONAL CONDUCT, 100% JUDICIAL BRANCH, 100% LEGISLATIVE BRANCH, 100% EXECUTIVE BRANCH.

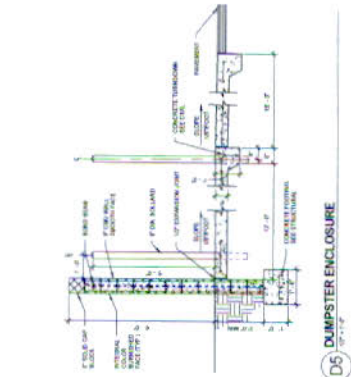
A003



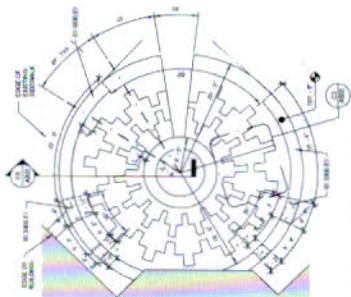
D2 FLAGPOLES & ADA PARKING - LARGE SCALE PLAN



D4 DUMPSTER ENCLOSURE - LARGE SCALE PLAN



D5 DUMPSTER ENCLOSURE - LARGE SCALE PLAN



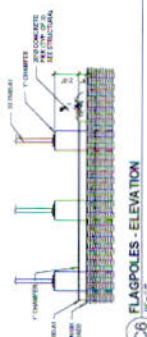
C2 COURTYARD - LARGE SCALE PLAN



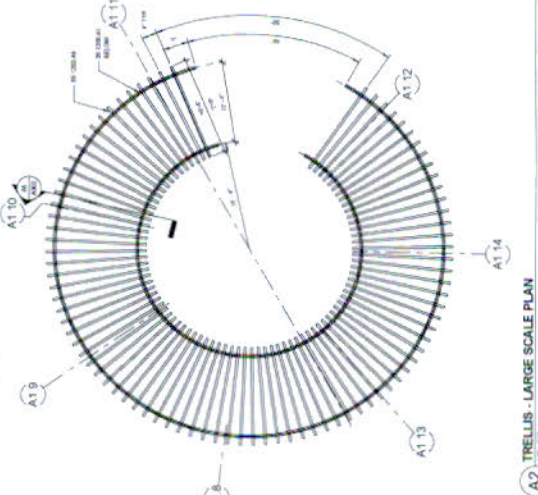
C3 COURTYARD FINISHED FLOOR PATTERN - TYP.



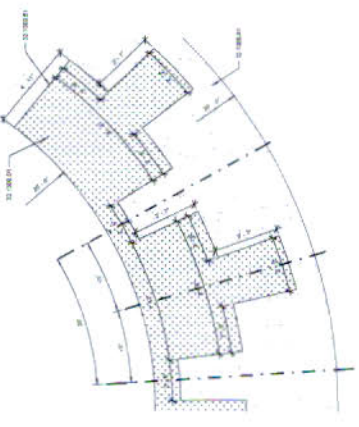
C5 RETAINING WALL - LARGE SCALE PLAN



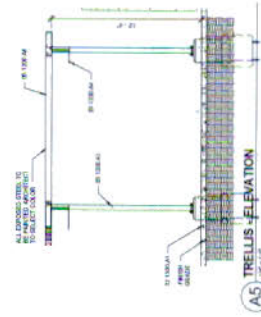
C6 FLAGPOLES - ELEVATION



A2 TRELLIS - LARGE SCALE PLAN



A4 PLAZA FINISHED FLOOR PATTERN - TYP.



A5 TRELLIS - ELEVATION

1

INDIAN ROUTE 21, TONALEA, ARIZONA
100 % CONSTRUCTION DOCUMENTS
JANUARY 16, 2017

FOR ELECTRICAL SYMBOLS, SEE
ELECTRICAL SYMBOLS
FOR MECHANICAL SYMBOLS, SEE
MECHANICAL SYMBOLS

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2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409</
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NOT FOR CONSTRUCTION

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A104

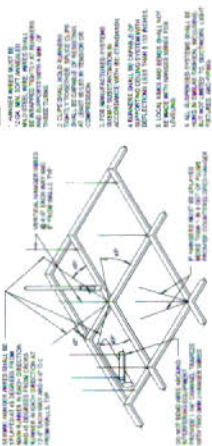


WOOD CEILING TERMINATION

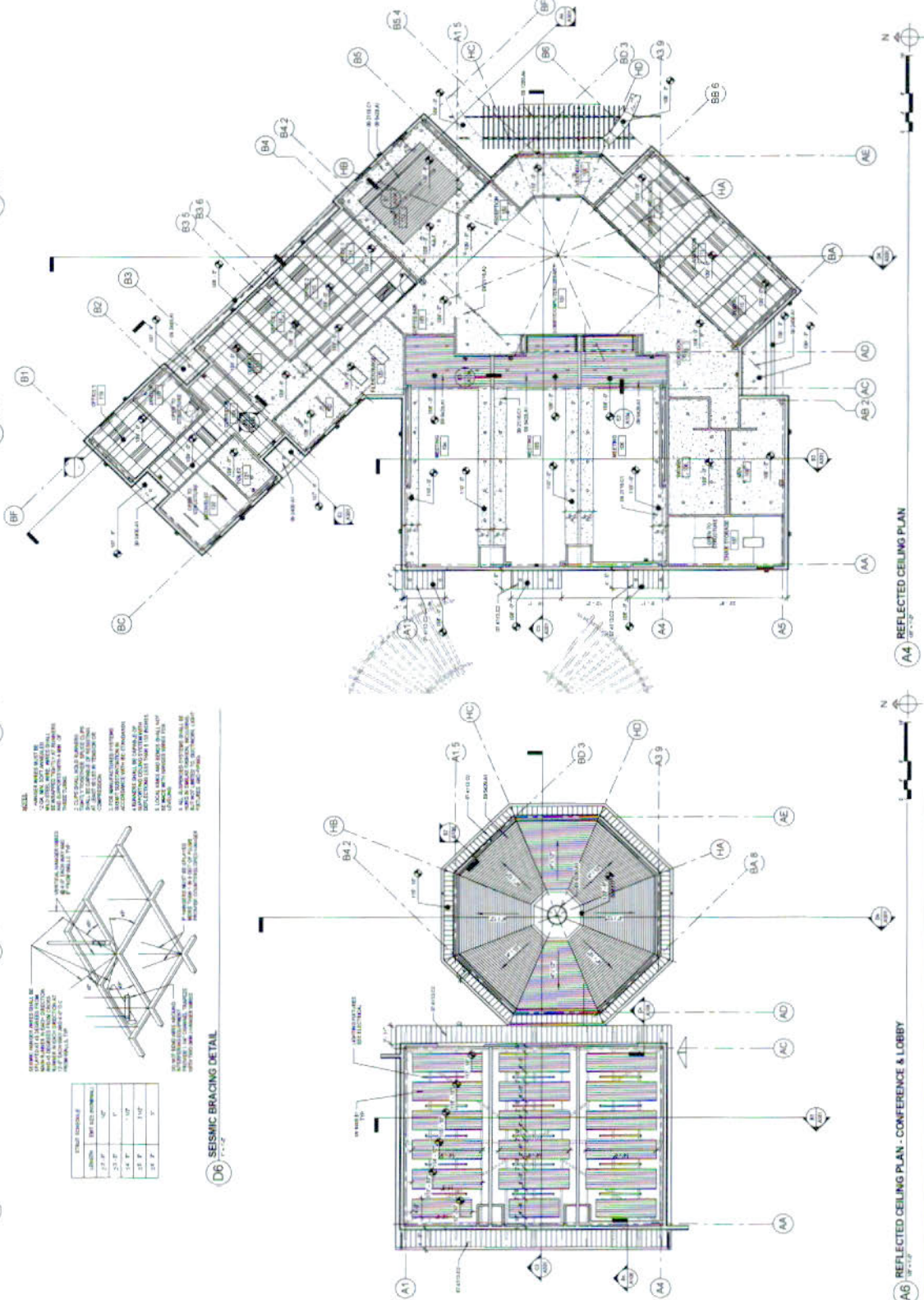
PAR PARTITION

E5 DOOR PARTITION AT WOOD CEILING

E6 CORRIDOR SOFFIT



D6 SEISMIC BRACING DETAIL



A4 REFLECTED CEILING PLAN

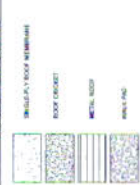
A6 REFLECTED CEILING PLAN - CONFERENCE & LOBBY

**TONALEA CHAPTER
REPLACEMENT
BUILDING**
INDIAN ROUTE 21, TONALEA, ARIZONA
100% CONSTRUCTION DOCUMENTS
JANUARY 16, 2017

GENERAL NOTES

1. GENERAL CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE TONALEA CHAPTER BOARD AND THE ARIZONA DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
3. THE ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL ROOFING CONTRACT DOCUMENTS, AS AMENDED.
4. THE ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL ROOFING CONTRACT DOCUMENTS, AS AMENDED.
5. THE ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL ROOFING CONTRACT DOCUMENTS, AS AMENDED.
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10. THE ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL ROOFING CONTRACT DOCUMENTS, AS AMENDED.

ROOF LEGEND



KEYED NOTES

1. 01.000000 ROOF DECK: 4" POLYSTYRENE INSULATION ON 2" CONCRETE SLAB.
2. 02.000000 ROOF INSULATION: 2" POLYSTYRENE INSULATION.
3. 03.000000 ROOF MEMBRANE: 60 MIL TPO MEMBRANE.
4. 04.000000 ROOF FLASHING: 60 MIL TPO MEMBRANE.
5. 05.000000 ROOF DRAINAGE: 4" DIA. DRAIN WITH 1" DIA. SLOPE.
6. 06.000000 ROOF VENTING: 18" DIA. VENT WITH 1" DIA. SLOPE.
7. 07.000000 ROOF ACCESS: 30" DIA. ACCESS WITH 1" DIA. SLOPE.
8. 08.000000 ROOF HATCH: 30" DIA. HATCH WITH 1" DIA. SLOPE.
9. 09.000000 ROOF LADDER: 30" DIA. LADDER WITH 1" DIA. SLOPE.
10. 10.000000 ROOF CANOPY: 30" DIA. CANOPY WITH 1" DIA. SLOPE.
11. 11.000000 ROOF TRANSLUCENT PANEL: 30" DIA. TRANSLUCENT PANEL WITH 1" DIA. SLOPE.
12. 12.000000 ROOF DRAIN DETAIL: 4" DIA. DRAIN WITH 1" DIA. SLOPE.
13. 13.000000 ROOF VENT DETAIL: 18" DIA. VENT WITH 1" DIA. SLOPE.
14. 14.000000 ROOF CURB DETAIL: 4" DIA. CURB WITH 1" DIA. SLOPE.
15. 15.000000 ROOF PARAPET DETAIL: 4" DIA. PARAPET WITH 1" DIA. SLOPE.
16. 16.000000 ROOF ACCESS LADDER AND HATCH: 30" DIA. LADDER WITH 1" DIA. SLOPE.
17. 17.000000 ROOF CANOPY AT MAIN ENTRY: 30" DIA. CANOPY WITH 1" DIA. SLOPE.
18. 18.000000 ROOF TRANSLUCENT PANEL DETAIL: 30" DIA. TRANSLUCENT PANEL WITH 1" DIA. SLOPE.

DYRON MURPHY ARCHITECTS, P.C.

4000 Maricopa Street NE, Albuquerque, New Mexico 87110

NOT FOR CONSTRUCTION

ARCHITECT

Revision Number

Revision Description

Revision Date

Revision By

Revision Date

Revision By

Revision Date

Revision By

Revision Date

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Revision Date

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Revision Date

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Revision Date

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Revision Date

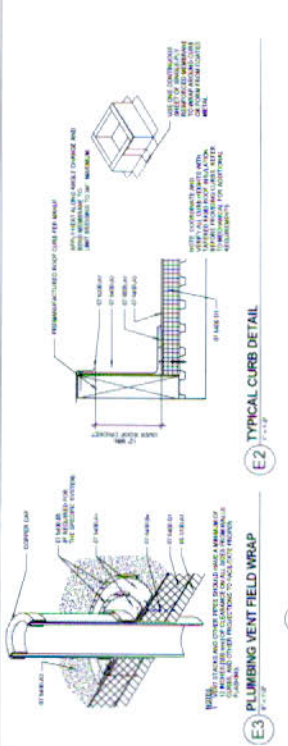
Revision By

Revision Date

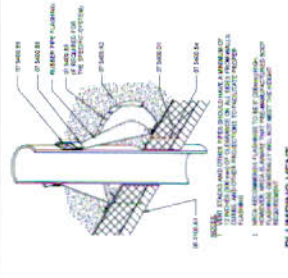
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Revision Date

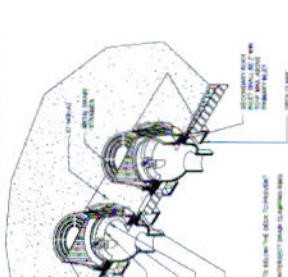
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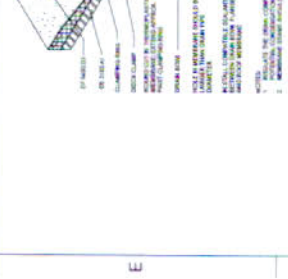
E1 TYPICAL CURB DETAIL



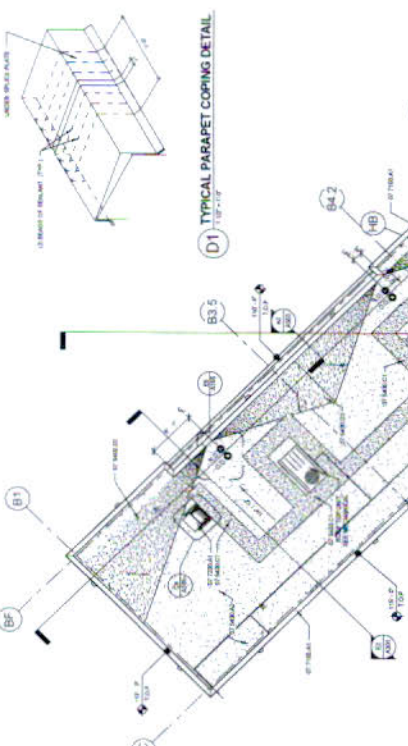
E2 TYPICAL PARAPET DETAIL



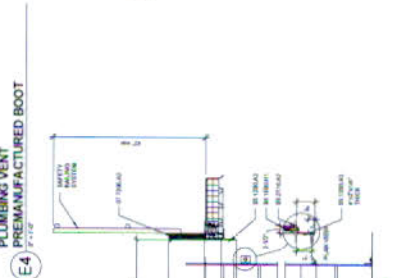
E3 PLUMBING VENT FIELD WRAP



E4 PLUMBING VENT PREMANUFACTURED BOOT



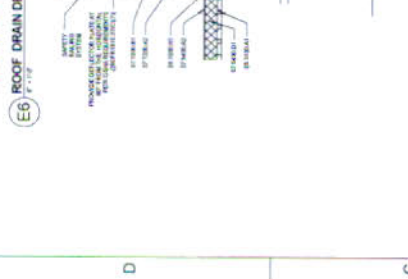
E5 ROOF DRAIN DETAIL



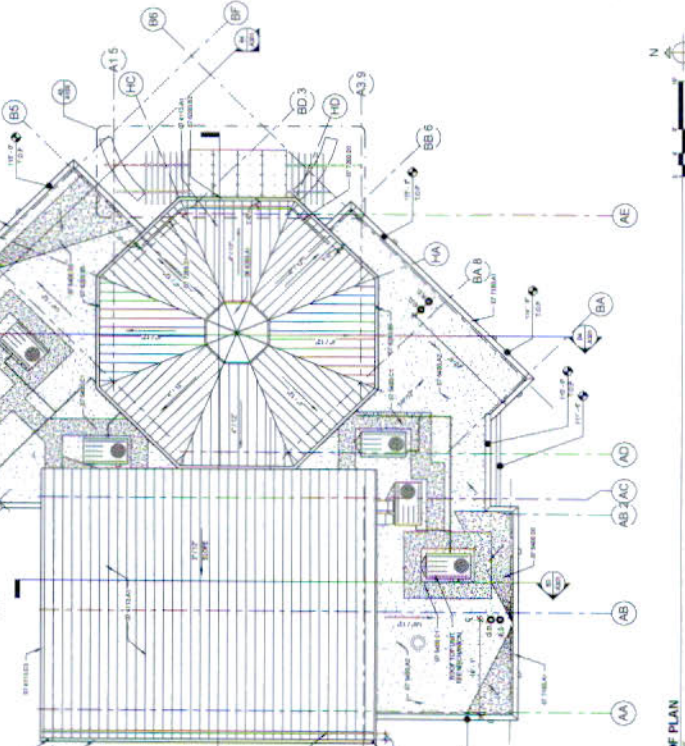
E6 ROOF VENT DETAIL



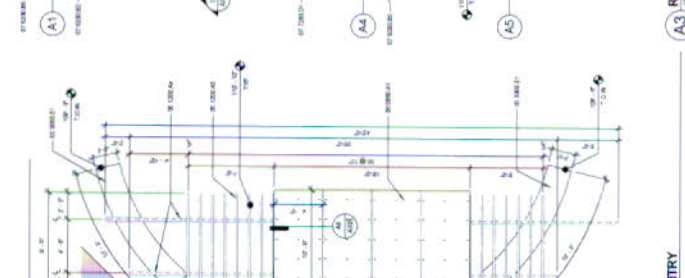
E7 ROOF CURB DETAIL



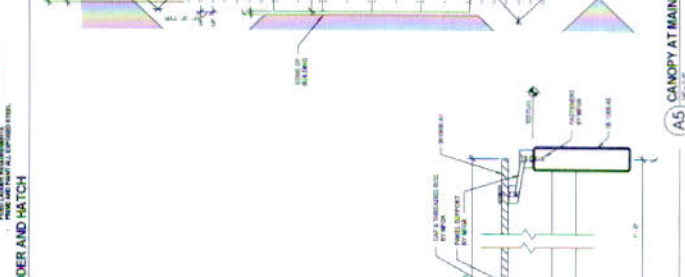
E8 TYPICAL PARAPET DETAIL



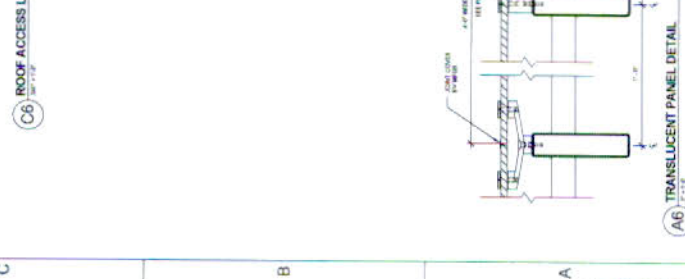
A3 ROOF PLAN



A4 CANOPY AT MAIN ENTRY



A5 TRANSLUCENT PANEL DETAIL



A6 ROOF ACCESS LADDER AND HATCH

TONALEA CHAPTER
REPLACEMENT
BUILDING

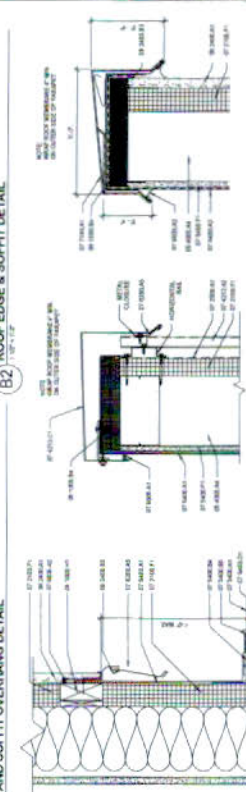
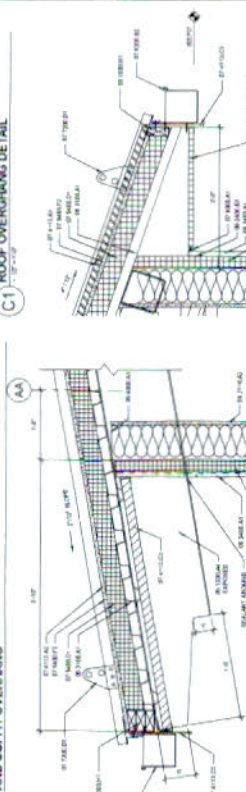
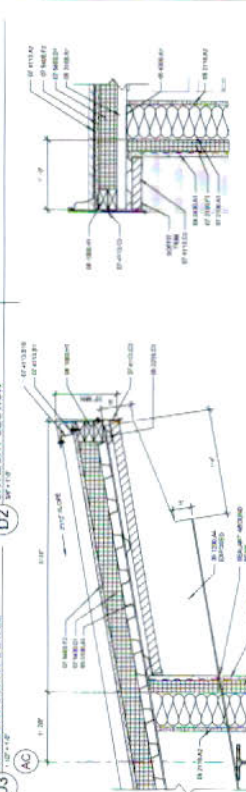
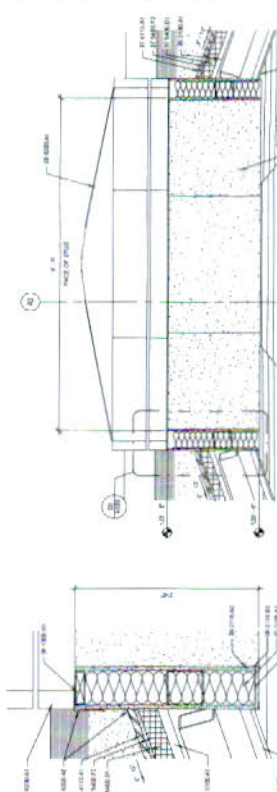
INDIAN ROUTE 21, TONALEA, ARIZONA

100 % CONSTRUCTION DOCUMENTS

JANUARY 16, 2017

KEYED NOTES

- [illegible]

[illegible]

A106

Frequency

BYRON MURRAY ARCHITECTS P.C.



105 Montpelier Place NE, Albuquerque, New Mexico 87107

INDIAN ROUTE 21, TONALEA, ARIZONA
100 % CONSTRUCTION DOCUMENTS

JANUARY 16, 2017

KEYED NOTES

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DYRON MURPHY ARCHITECTS, P.C.

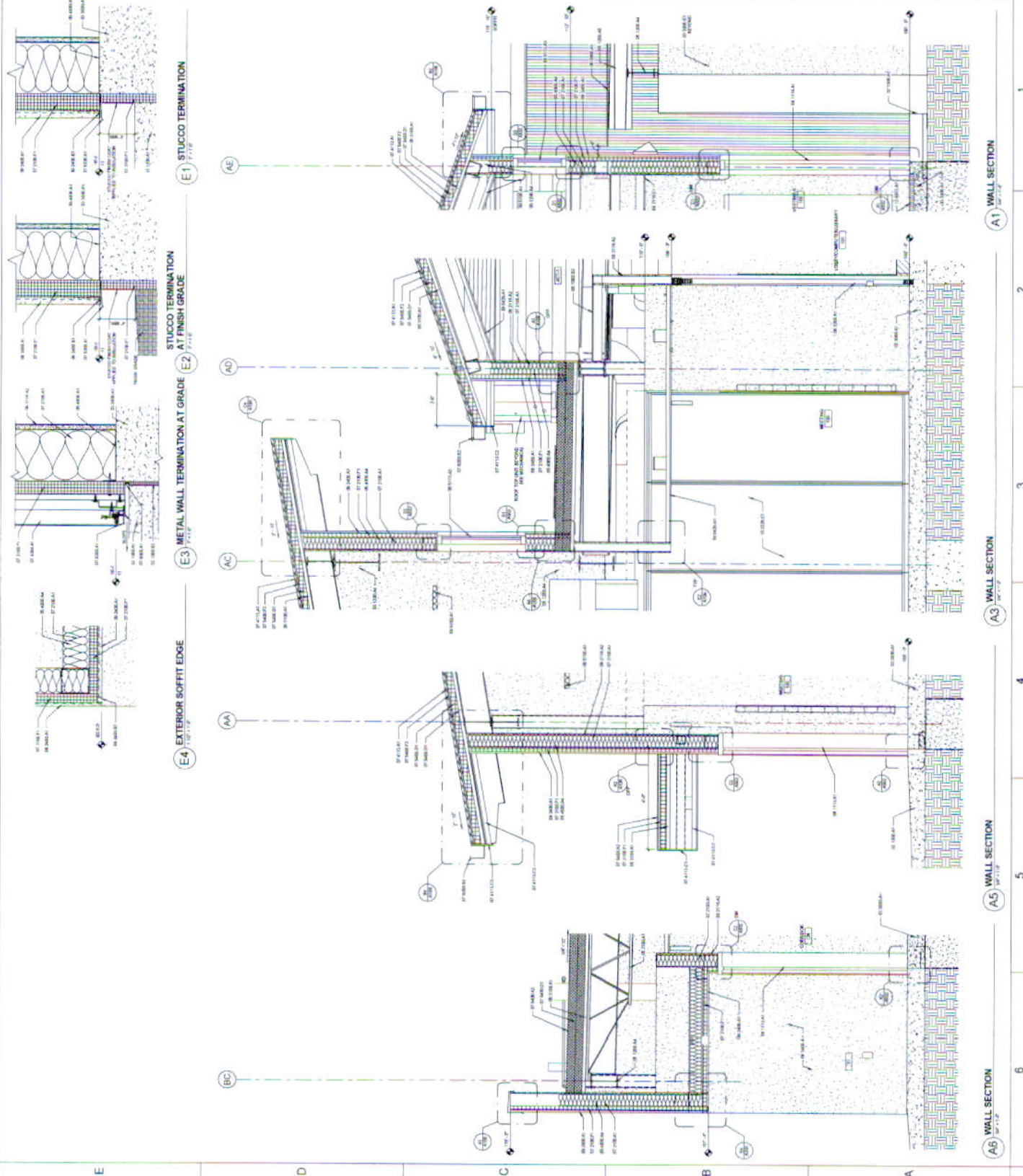


4525 Montalvo Place NE, Albuquerque, New Mexico 87110

NOT FOR CONSTRUCTION

[illegible]

A302



TONALEA CHAPTER REPLACEMENT BUILDING

INDIAN ROUTE 21, TONALEA, ARIZONA
100 % CONSTRUCTION DOCUMENTS
JANUARY 16, 2017

KEYED NOTES

- 1. SEE SHEET 100 FOR GENERAL NOTES
- 2. SEE SHEET 100 FOR GENERAL NOTES
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- 5. SEE SHEET 100 FOR GENERAL NOTES
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DYRON MURPHY ARCHITECTS, P.C.



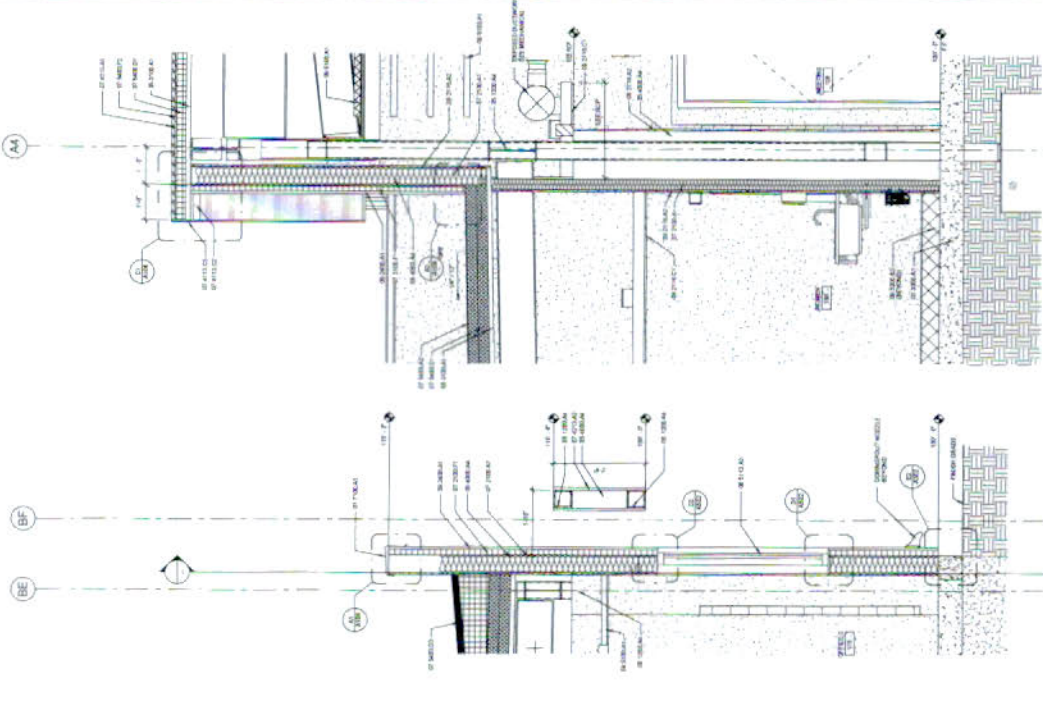
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WALL SECTIONS

Revision Number	Revision Description	Revision Date	Revision By
1	Initial Design	01/16/17	DM
2	Revised Design	01/16/17	DM
3	Final Design	01/16/17	DM

PROJECT: TONALEA CHAPTER REPLACEMENT BUILDING
LOCATION: INDIAN ROUTE 21, TONALEA, ARIZONA
DATE: 01/16/17
DRAWN BY: DM
CHECKED BY: DM
APPROVED BY: DM

A303



A2 WALL SECTION

A3 WALL SECTION

1 2 3 4 5 6

**TONALEA CHAPTER
REPLACEMENT
BUILDING**
INDIAN ROUTE 21, TONALEA, ARIZONA
100% CONSTRUCTION DOCUMENTS
JANUARY 16, 2017

GENERAL NOTES

1. REFER TO TONALEA CHAPTER REPLACEMENT BUILDING FOR ALL NOTES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA BUILDING CODE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA ELECTRICAL CODE.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA MECHANICAL CODE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA PLUMBING CODE.
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22. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA EXECUTIVE CODE.
23. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 ARIZONA JUDICIAL BRANCH CODE.
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DYRON MURPHY ARCHITECTS, P.C.



**LARGE SCALE PLANS AND
INTERIOR ELEVATIONS**

NOT FOR
CONSTRUCTION

Revision Number	Revision Description	Author	Checker	Design
01	01	01	01	01

A401

Sheet Number

1

2

3

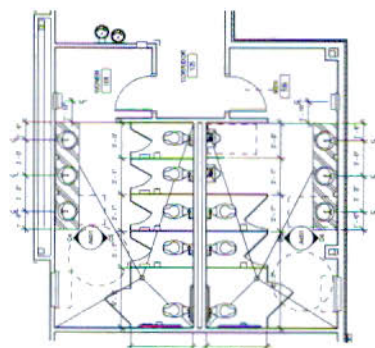
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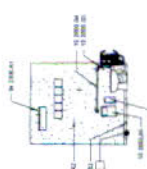
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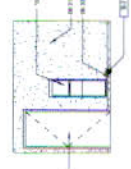
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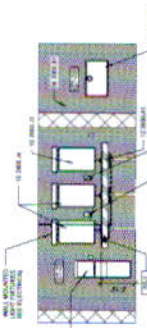
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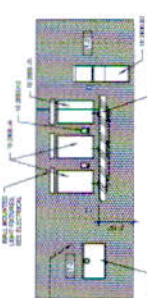
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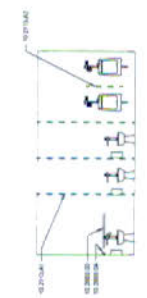
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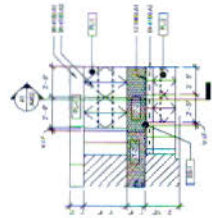
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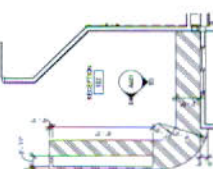
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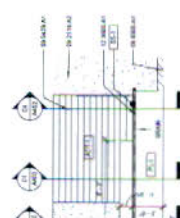
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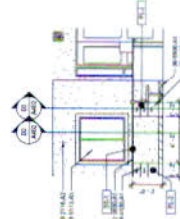
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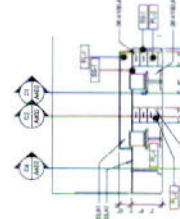
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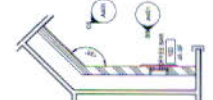
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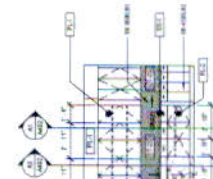
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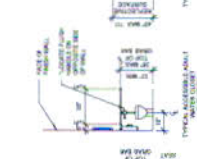
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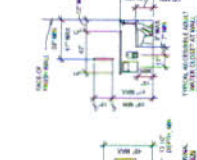
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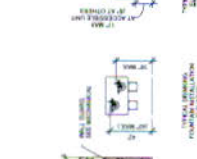
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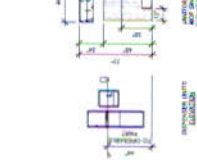
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A4 118 JANITOR
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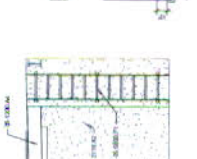
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A2 TYPICAL MOUNTING HEIGHTS
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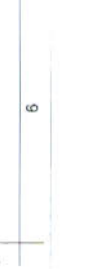
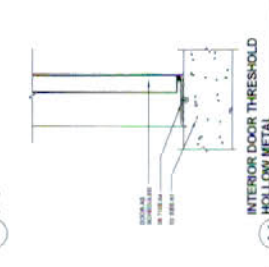
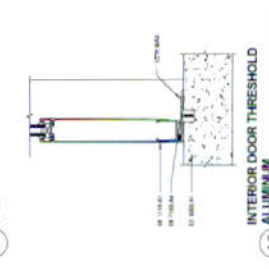
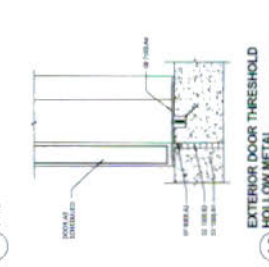
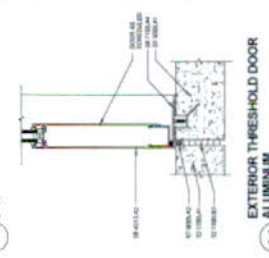
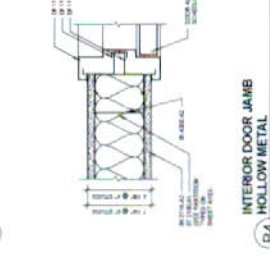
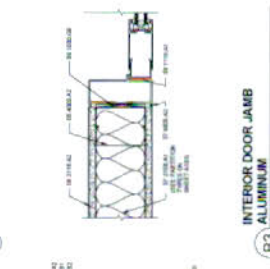
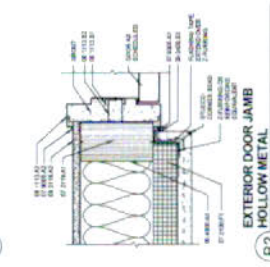
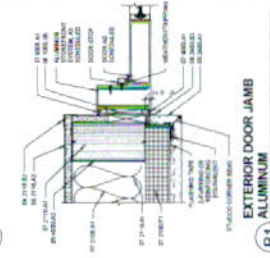
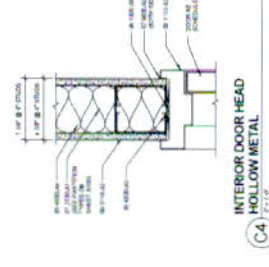
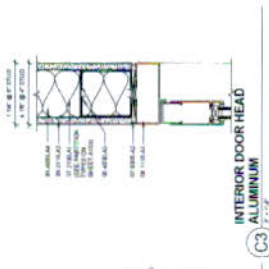
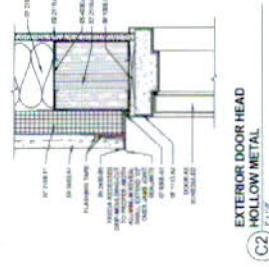
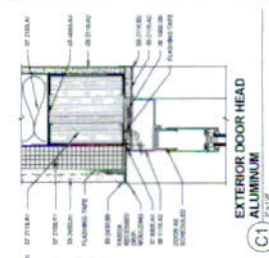
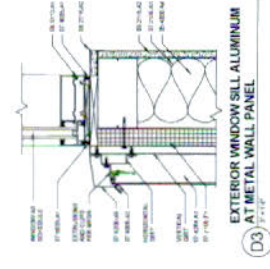
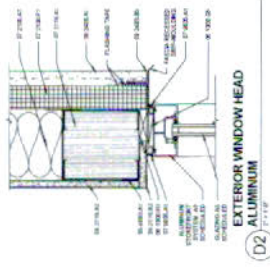
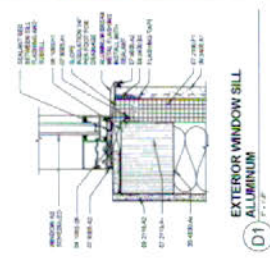
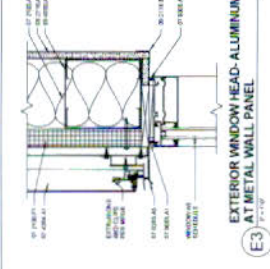
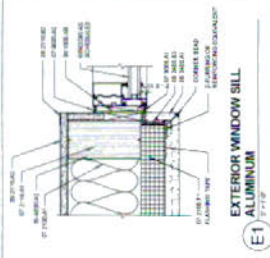
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A0 102 RECEPTION
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KEYED NOTES

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TONALEA CHAPTER REPLACEMENT BUILDING
NAVAJO NATION
TONALEA, ARIZONA

PROJECT MANUAL

100% CONSTRUCTION DOCUMENTS
JANUARY 16, 2017

DMA PROJECT No. 2016.07



DYRON MURPHY ARCHITECTS, P.C.
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Albuquerque, New Mexico 87107

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(505) 830-0237 fax
www.dm-architects.com

TONALEA CHAPTER REPLACEMENT BUILDING
Tonalea, Navajo Nation, Arizona
PROJECT MANUAL
TABLE OF CONTENTS

I. BID FORMS AND DOCUMENTS

- A. Invitation to Bid
- B. Instructions to Bidders
- C. Bid Form
- D. Bid Bond
- E. Subcontractor List Form
- F. Form of Non-Collusive Affidavit

II. CONTRACT FORMS

- A. AIA Document A101, 2007 Ed., *"Agreement Between Owner and Contractor"* (sample only)
- B. Contract Forms, Bonds and Certificates

III. CONTRACT CONDITIONS

- A. AIA Document A201 (2007) *"General Conditions of the Contract for Construction"*, (Draft Only)
- B. *"Navajo Nation Supplemental General Conditions"*, Supplement to AIA A201 (Sample)

EXHIBITS

- 1. Navajo Nation Business Preference Law
 - 2. Navajo Nation Business Opportunity Act Source List-Certified Navajo Business
 - 3. Navajo Preference in Employment Act Requirements
 - 4. Navajo Nation Tax Law
 - 5. Navajo Nation Water Code
 - 6. Navajo Nation Solid Waste Code
 - 7. Navajo Nation Occupational Safety and Health Act
 - 8. Wage Determination Schedule, with corresponding attachments
- C. Geotechnical Report
- D. Navajo Tribal Utility Authority (NTUA) - Navajo Area Standards & Construction Requirements Technical Specifications for Materials and Workmanship for Water and Wastewater Facilities - March 2002 – (Documents Included by Reference - PDF version available upon request)
- E. Navajo Tribal Utility Authority (NTUA) Electric Construction Standards - (Documents Included by Reference - PDF version available upon request)

IV. TECHNICAL PROVISIONS

- A. Table of Contents
- B. Specifications - Divisions 01 through 33

INVITATION TO BID

The Tonalea Chapter (the "Owner"), invites general contractors to prepare and submit bids for the construction of the Tonalea Chapter Replacement Building. The site is located on Indian Route 21 approximately ½-mile northwest of the U.S. Highway 160 intersection in Tonalea, Navajo Nation, Arizona.

The work includes the construction of a single story (approximately 8,460 square feet) office facility consisting of meeting and conference rooms, offices, classroom, restrooms, a coffee bar and other miscellaneous support spaces.

The construction contract will be awarded on a lump-sum basis. Bidders are subject to the Navajo Nation Business Preference Law; Title 5, Navajo Tribal Code, Section 201 through 218 and other applicable Navajo Nation Laws. Each bid must be submitted in accordance with Bidding Documents prepared by the Project Architect, Dyon Murphy Architects, P.C., Albuquerque, NM, (505) 830-0203.

Bids shall be sealed, labeled, and filed with the Navajo Nation Division of Community Development / Capital Project Management Department (NN DCD/CPMD), on or before **March 01, 2017 by 4:00 PM MST** at Administration Building #2, Window Rock Blvd. Window Rock, Arizona 86515. Bids received after the specified date and time will not be accepted and returned unopened. No faxed or emailed bids will be accepted. Bids received by the Owner will be opened and announced at the above mentioned time and location.

Bid Documents may be obtained from ALBUQUERQUE REPROGRAPHICS, 4716 McCleod NE, Albuquerque, NM 87109. Bid sets are available at a rate of \$150.00 (refundable upon return) deposit, cash or check payable to Dyon Murphy Architects, P.C. Additional sets may be purchased. Shipping charges are the sole responsibility of the Bidder requesting documents and deposits must be received prior to shipping. Facsimile reproductions of checks are not acceptable representations of deposits.

Bid documents may be examined at the following locations:

Construction Reporter, 1607 2nd St., NW, Albuquerque, NM 87107
F.W. Dodge Corporation, 1615 University Ave., NE, Albuquerque, NM 87102
The Plan Room at Sun Glass, Inc., 602 W Main, Farmington, NM 87401

Questions regarding this project should be addressed to Dyon Murphy Architects, P.C., 4505 Montbel PL NE, Albuquerque, NM 87107, and Telephone: (505) 830-0203, Fax: (505) 830-0237. A pre-bid conference is scheduled at the Tonalea Chapter project site on **February 15, 2017 at 11:00 AM** local time. Representatives from the Owner and Architect will be in attendance to address questions. It is strongly suggested that all interested parties attend this meeting.

This "Invitation to Bid" does not commit the Owner to reimburse any costs incurred by the Bidder in the preparation of Bids or for procurement of supplies. The Owner reserves the right to reject any and all bids, to waive any informalities or irregularities when it is in the best interest of the Owner. No Bidder may withdraw his/her bid for a period of 120 days after the date of opening thereof. Bid security in the amount of 10 percent of the bid amount is required. Award announcement will be determined after bid opening date, or at the Owner's convenience.

End of Invitation to Bid

INSTRUCTIONS TO BIDDERS

1.0 DEFINITIONS

- 1.1 PROJECT:** The Project consists of the complete construction of the Tonalea Chapter Replacement Building at Tonalea, Navajo Nation, Arizona, by a Bidder, for a Lump Sum Price agreed to by the most responsive Bidder and the Owner.

- 1.2 OWNER:** The Tonalea Chapter (the "Owner"), Tonalea, Navajo Nation, Arizona

Address: Tonalea Chapter, Navajo Nation
P.O. Box 207
Tonalea, Arizona 86044
Telephone: (928) 283-3730, Fax: (928) 283-3435.
Representative: Betty Tso, Tonalea Chapter, AZ

Will receive bids on or before March 01, 2017 by 4:00 PM MST from general contractors for the construction of the Tonalea Chapter Replacement Building at the office of the Owner's Lead Agent – The Navajo Nation Division of Community Development / Capital Project Management Department (NN DCD/CPMD).

- 1.3. OWNER'S LEAD AGENT:** The Navajo Nation Division of Community Development / Capital Project Management Department (NN DCD/CPMD), Window Rock, Arizona, is designated as the Owner's Lead Agent and administrative officer on behalf of the Owner.

Address: Navajo Nation Division of Community Development
Capital Project Management Department
P.O. Box 610
Window Rock, Arizona 86515
Telephone: (928) 871-6734, Fax: (928) 871-6098.
Representative: [REDACTED], Project Manager

- 1.4 OWNER'S FUNDING AGENT:** The [REDACTED] will monitor the construction administrative process in accordance with Federal guidelines and will provide cursory oversight during construction and issue periodic payments to the contractor as advised by the Architect and its primary representative.

Address: To be determined by addendum.

- 1.5 ARCHITECT:** Architectural firm retained by the Owner to assist in development of the Tonalea Chapter Replacement Building project whose responsibilities under this Project includes:

- a. Review of Bids submitted in accordance with Bid Documents.
- b. Review of design information submitted by Bidders.
- c. Provides recommendations of technical nature to Owner regarding design and construction matters.
- d. Issues Bid Documents and makes clarifications, issues addenda, reviews requests for substitutions, and/or receives bids.
- e. Issues relevant design data, e.g., drawings or specifications for project.
- f. Assists Owner in contract issuance and negotiations with selected successful Bidder.
- g. Provides Construction Administration and Observation services on behalf of Owner during construction.
- h. Assists Owner during contract closeout procedures.
- i. Assists Owner during conferences and meetings prior to receipt of Bids, during contract negotiations, and during construction.
- j. Reviews and approves construction submittals.
- k. Reviews and approves construction pay requests.

Address: Dyron Murphy Architects, PC
 4505 Montbel PL NE
 Albuquerque, New Mexico 87107
 Telephone: (505) 830-0203, Fax: (505) 830-0237
 Representatives: Dyron V. Murphy, AIA, Principal
 Nitish Suvarna, AIA, Project Manager

1.6 BIDDER: A builder, contractor, or developer acting as the primary agent responsible for submitting a bonafide written Bid for a prime contract with the Owner for the Project described in the Proposed Contract Documents. The Bid shall include all required costs, e.g., labor, travel, materials, reimbursable expenses, overhead expense, profit, and related costs to provide complete construction services associated with the development of the Project. The Bidder shall be responsible for administering all aspects of the work and contract requirements. A representative shall be designated to act on behalf of the Bidder to enter into agreements, provide direction, and adjudicate matters related to construction issues under the contract.

1.7 BID DOCUMENTS: General documents which are issued by the Owner and describe the process for executing the Project, include, but are not limited to the following:

CONTRACT DOCUMENTS:

- a. Invitation to Bid
- b. Instructions to Bidders.
- c. Bid Form.
- d. Subcontractor List Form.

- e. Affidavit of Non-Collusion.
- f. Agreement Forms (AIA A101/A201).
- g. Navajo Nation Supplemental General Conditions of the Contract for Construction.
- h. Navajo Nation government forms, statutes, or filing requirements as included herein.
- i. Wage Rate Determination.

TECHNICAL PROVISIONS

- a. Geotechnical Report.
- b. Navajo Tribal Utility Authority Standards and Construction Requirements.
- c. Storm Water Pollution Prevention Plan (SWPPP)
- d. Project Specifications.
- e. Project Drawings.

1.8 ADDENDA: Written or graphic instruments issued by the Architect prior to the submission of Bids which modify or interpret the Bid Documents by additions, deletions, clarifications or corrections.

1.9 BID: A complete and properly signed Bid to complete the Project for the Lump Sum Price agreed upon therein, supported by information or forms called for by the Bid and Contract Documents. The Bid shall include the following submittal documents in order to be considered for this contract:

- a. Bid Form, sealed.
- b. Affidavit of Non-Collusion, notarized.
- c. Bid Bond in amount of 10% of Bid entered, including Name and Address of bonding company, and limits of Bonding at time of Bid Submittal.
- d. Current Navajo Nation Business Preference Certificate.
- e. Power of Attorney, if necessary.
- f. Evidence of General Construction Licensure for the State of Arizona, including active dates.
- g. AIA Document A305, 1986 Ed., "Contractor's Qualification Statement."
- h. Subcontractor's List Form indicating Navajo-owned companies, if applicable.
- i. Certificates of General Liability and Workman's Compensation Insurance, indicating coverage amounts, both Aggregate and Per Incident.

2.0 BIDDER'S REPRESENTATION

2.1 Each Bidder by making his/her Bid represents that:

- A. He/she has read and understands the Bid Documents and their Bid is made in accordance within.
- B. He/she have visited the site and have familiarized him/her with the local conditions under which the Project is to be performed.
- C. His/her Bid is based upon the materials, labor, transportation, systems and equipment proposed in his/her interpretations and assumptions described by his/her design submittal as part of his/her Bid, and other pertinent information contained in the Bid Documents.

3.0 BID DOCUMENTS

3.1 Copies: Bidders may obtain sets of the Bid Documents for the deposit sum, and at the location stated in the Invitation to Bid. The deposit will be refunded as stipulated in the Invitation to Bid. A Bidder receiving a contract award may retain the Bid Documents and his/her deposit will be refunded.

- A. Information contained in the Bid Documents shall be used by the Bidder in preparation of his/her Bid pricing and construction documents; neither the Owner nor the Architect assumes any responsibility for errors or misinterpretations resulting from the use of incomplete sets of Bid Documents.
- C. The Owner or the Architect, in making copies of the Bid Documents available on the above items, do so only for the purpose of obtaining Bids on the Project and do not confer a license or grant for any other use.

3.2 Interpretation or Correction of Bid Documents

- A. Bidders shall promptly notify the Architect of any ambiguity, inconsistency or error, which they may discover upon examination of the Bid Documents, or of the site and local conditions.
- B. Bidders requiring clarification or interpretation of the Bid Documents shall make a written request to the Architect at least Seven (7) calendar days prior to the date for receipt of Bids. Requests for clarification received less than seven (7) days before the date for receipt of Bids will not be addressed by the Owner or Architect.
- C. Any interpretation, correction or change of the Bid Documents will be made by Addendum. Interpretations, corrections or changes of Bid Documents made in any other manner will not be binding, and Bidders shall not rely upon such interpretations, corrections or changes.

3.3 Substitutions

- A. The materials, products and equipment described in the Bid Documents establish a standard of required performance, function, dimension, appearance and quality to be met by any proposed substitution. Materials, products, or equipment by other manufacturers and vendors deemed to adequately perform the duties imposed by the general design intent will be considered equally acceptable provided the material, equipment, or product so proposed is, in the opinion of the Architect, of equal performance and function. The burden of proof of the merit of the proposed substitute is upon the Bidder. The Architect's decision of approval or disapproval, after consultation with the Owner, of a proposed substitution shall be final. No substitution shall be purchased or installed by the Contractor without the Architect's written approval.
- B. It shall be the responsibility of the Bidder to provide and pay for all modifications that may be required of other trades, which may add to their costs, brought about by substitutions and/or options after the contract has been let. No additional costs shall be assessed to the Owner.
- C. Substitution Bids which deviate from those materials, equipment, or products described in the Bid Documents shall be noted on the drawings or proposed method of construction in the Bidders Bid package.
- D. A request for a substitution constitutes a representation that the Bidder:
 - 1. Has investigated the proposed product and determined that it is equal to or superior in all respects to that specified.
 - 2. Will provide the same warranties or bonds for the substitution as for the product specified.
 - 3. Will coordinate the installation of any accepted substitution into the Project and make such other changes as may be required to make the Project complete in other respects.
 - 4. Will not increase the maximum contract price. Where substitutions of materials are deemed acceptable and are of lesser value than the established standards, a cost credit from the Bidder to the Owner shall be applied to the maximum contract price.

3.4 ADDENDA

- A. All who are known by the Architect to have received a complete set of Bid Documents will be notified of any Addenda issuance and place of availability for pickup. The Bidder shall provide a working fax number and/or email address where addenda may be transmitted for receipt by the Bidder.
- B. Copies of Addenda will be made available for inspection wherever Bid Documents are on file for that purpose.
- C. No Addenda will be issued later than two (2) days prior to the date for receipt of Bids except an Addendum, if necessary, postponing the date for receipt of Bids or withdrawing the request for Bids.

- D. Each Bidder shall ascertain, prior to submitting his/her Bid, which he/she has received all Addenda issued, and he/she shall acknowledge receipt of all issued Addenda on the Form of Bid.

4.0 BID PROCEDURE

4.1 Form and Style of Bids

- A. Bids shall be submitted on the form(s) provided in the Bid Documents.
- B. All blanks on the Bid Form shall be filled in by typewriter or legibly in ink.
- C. Where so indicated by the makeup of the Bid Form, sums shall be expressed in both words and figures, and in case of discrepancy between the two, the written amount shall govern.
- D. Any interlineation, alteration or erasure must be initialed by the signer of the Bid.
- E. Bidders shall make no additional stipulations on the Bid Form, nor qualify his/her Bid in any other manner.
- F. Each Bid shall include the legal name of the Bidder and a statement whether the Bidder is a sole proprietor, a partnership or a corporation, or any other legal entity and shall be signed by the person or persons legally authorized to bind the Bidder to a contract. A Bid by a corporation shall further list the State of incorporation and have the corporate seal affixed. A Bid submitted by an agent shall have a current Power of Attorney attached certifying the agent's authority to bind Bidder.

4.2 Bid Security

- A. Each Bid shall be accompanied by a Bond or Cashier's Check in the required form and amount pledging that the Bidder will enter into a Contract with the Owner on the terms stated in his/her Bid and will furnish bonds as described hereunder in Article 8 covering the faithful performance of the Contract and the payment of all obligations arising thereunder. Should the Bidder refuse to enter into such Contract or fail to furnish such bonds, the amount of the Bid Bond shall be forfeited to the Owner as liquidated damages, not as a penalty.
- B. The Bond shall be prepared on the forms in the Bid Document, issued by a surety licensed to do business in the State of Arizona listed on the current U.S. Treasury Surety List and acceptable to the Owner. The Attorney-In-Fact that executes the Bond on behalf of the Surety shall affix to the Bond a certified and current copy of his Power of Attorney.
- C. The Owner will have the right to retain the Bid Security of Bidders until either (a) the Contract, has been executed and bonds have been furnished, or (b) the specified time has elapsed so that Bids may be withdrawn or (c) all Bids have been rejected.

4.3 Submission of Bids

- A. All copies of the Bid, the Bid Security and any other documents required to be submitted with the Bid shall be enclosed in a sealed opaque envelope. The envelope shall be addressed as follows:

Navajo Nation Division of Community Development
Attn: Capital Project Management Department
P.O. Box 610
Window Rock, Arizona 86515

**Bid Package for the
Tonalea Chapter Replacement Building
DO NOT OPEN**

If the Bid is sent by mail, the sealed envelope shall be enclosed in a separate mailing envelope with the notation "BID ENCLOSED" on the face, thereof. Neither the Owner nor Architect assume responsibility for Bids delivered after the time and date of the Bid opening.

- B. Bids shall be deposited at the designated location prior to the time and date for receipt of Bids indicated in the Invitation to Bid, or any extension thereof made by Addendum. Bids received after the time and date for receipt of Bids will be returned unopened.
- C. Oral, telephonic, telegraphic, emailed, or faxed Bids are invalid and will not be considered.
- D. Failure to include all required Bid Documents as stipulated will be cause for disqualification.

4.4 Modification or Withdrawal

- A. A Bid may not be modified, withdrawn, or canceled by the Bidder during the stipulated time period following the time and date designated for the receipt of Bids, and Bidder so agrees in submitting the Bid.
- B. Bids submitted early may be modified or withdrawn prior to the time designated for receipt of Bids.
- C. Withdrawn Bids may be resubmitted up to the time designated for the receipt of Bids provided that they are then fully in conformance with these Instructions to Bidders.

4.5 Owner's Bid Declarations

- A. It is the intent of the Owner to award a contract to the most qualified responsible Bidder, provided Bid has been submitted in accordance with the requirements of the Bid Documents and does not exceed the funds available. The Owner shall have the right to take such steps, as it deems necessary to determine the ability of the Bidder to perform the Project.

Bidders shall furnish to the Owner such additional information and data for purpose as Owner may request.

Owner reserves the right to reject any or all Bids that in the Owner's sole judgment are in the Owner's best interest.

4.6 Pre-Bid Conference

- A. The Owner has scheduled a non-mandatory pre-bid conference on **February 15, 2017 at 11:00 am local time**. It remains the responsibility of the Bidder to exhibit due diligence in determining specific criteria and requirements related to this Bid procurement process and submittal.

5.0 CONSIDERATION OF BIDS

5.1 Receipt of Bids

- A. Bids will be received at the office of the Owner, on the date and time specified on the Invitation to Bid. The Bids will be opened and read aloud in the presence of the Owner's Representative. The Bids will be evaluated by the Owner thereafter to determine compliance with the bid documents.

5.2 Rejection of Bids

- A. The Owner has the right to reject any or all Bids, reject a Bid not accompanied by any required Bid Security, or data required by the Bid Documents or a Bid, which is in any way incomplete or irregular. Conditional Bids will not be accepted.

5.3 Acceptance of Bid

- A. The Owner has the right to waive any informality or irregularity in any Bid received.
- B. It is the intent of the Owner to award a Contract to the most qualified responsible Bidder provided the Bid has been submitted in accord with the requirements of the Bid Documents and is judged to be reasonable.
- C. If the Bid is within the amount of the funds available to finance the construction contract, then the contract award will be made to that responsible Bidder submitting the low Bid.
- D. The Bid arena is open to all Navajo-owned general contractors who are registered with the Navajo Nation Business Regulatory Office in Window Rock, Arizona. Bids will be administered in direct compliance with the Navajo Nation Business Preference Law.

6.0 QUALIFICATIONS OF BIDDER

6.1 Submission of Qualification Information

- A. The Bidder is required to submit a properly executed AIA Document A305, 1986 Edition "Contractor's Qualification Statement." The Owner reserves the right to reject any Bid if the evidence submitted by, or investigation of, such Bidder fails to satisfy the Owner that such Bidder is properly qualified to carry out the obligations of the Contract and to complete the Project contemplated herein.

7.0 SUB-BIDDERS

7.1 Listing of Subcontractors and Suppliers

- A. The Bidder shall list the Subcontractors or material suppliers they propose to use for all trades or items supplied, on the "Subcontractor List Form" attached.
 - 1. The Bidder shall not list itself as the supplier or the Subcontractor for any trade unless he has previously performed Project of this type or can prove to the Architect's satisfaction that he/she actually has, or will obtain, fully adequate facilities and plans to perform the Project with his/her own forces.
 - 2. Omission or non-compliance with the intent of the "Subcontractor List Form" will be grounds for considering a Bid as non-responsive.
 - 3. Subcontractors, Suppliers or other Bidders who feel that the apparent low Bidder has not complied with the intent of these listing requirements must notify the Architect within 24 hours after the Bid Opening of their intent to file an appeal, and submit their reasons in writing within 48 hours after Bid Opening. All decisions of the Architect will be final.
 - 4. The apparent low Bidder's "Subcontractor List Form" may be divulged to interested parties following the receipt of Bids, or at the Owner's discretion.
 - 5. The Bidder will, upon request, be required to establish to the satisfaction of the Architect and the Owner the reliability and responsibility of the proposed Subcontractors to furnish and perform the Project described in the Sections of the Specifications pertaining to the proposed Subcontractors respective trades.
 - 6. Prior to the award of the Contract, the Architect will notify the Bidder, in writing, if either the Owner or the Architect, after due investigation, has reasonable and substantial objection to any person or organization on such list. If the Owner or Architect has a reasonable and substantial objection to any person or organization on such list, and refuses in

writing to accept such person or organization, the Bidder may, at their option, (1) withdraw their Bid, or (2) submit an acceptable substitute Subcontractor with no increase in the Bid price. In the event of withdrawal under this Subparagraph, Bid Security will not be forfeited, notwithstanding anything to the contrary in Paragraph above.

- B. Subcontract awards shall be bound with the provisions outlined in the "Labor and Wage Standards", contained in the Contract Conditions section of the Bid Package.

8.0 PERFORMANCE BOND AND LABOR AND MATERIAL PAYMENT BOND

8.1 Security for Faithful Performance

- A. The Bidder shall furnish and maintain bonds covering the faithful performance of the Contract, and the payment of all obligations arising thereunder, in an amount equal to one hundred percent (100%) of the Contract Sum as adjusted, and with such sureties secured through the Bidder's usual sources, licensed to do business in the State of Arizona and as may be agreeable to the parties.

8.2 Time of Delivery and Form of Bonds

- A. The Bidder shall deliver the required bonds to the Owner within ten (10) calendar days of receipt of written notice of award. If the Project must commence prior thereto, in response to a letter of Notice to Proceed from the Owner, the Bidder shall, prior to commencement of Project, submit evidence satisfactory to the Owner that such bonds will be furnished.
- B. The bonds shall be written on the form(s) described under Bid Contract Documents.
- C. The Bidder shall require the Attorney-In-Fact that executes the required bonds on behalf of the surety to affix thereto a certified and current copy of his/her Power of Attorney.

8.2.1 Taxes

- A. It is understood that the stipulated sum or contract amount will not include the cost of state and local taxes. Navajo Tribal Taxes will be required. The Bidder shall make certain of any applicable Navajo Tribal Taxes be included in the Bid. The Bidder shall make inquiries to the Navajo Tax Commission, Window Rock, Arizona (928) 871-7610.

8.2.2 Arbitration

- A. None of the " Arbitration" clauses or references in the General Conditions of the Contract for Construction (AIA Document A201) shall apply to this project.
- B. Neither Owner nor the Contractor shall be obliged to engage in or participate in any arbitration with respect to any dispute under this Agreement, nor shall the Architect be obliged to conduct or participate in any such arbitration.
- C. Disputes under this Agreement, which cannot be informally resolved by the parties, shall be addressed as provided below.

8.5.1 Claims and Disputes

- A. Any claims, disputes and other matters in question between the parties to this Agreement, except those relating to aesthetic affect as provided in the Navajo Nation Supplemental General Conditions and except those which have been waived by the making or acceptance of final payment as provided in the Contract Documents, shall be referred to the Architect by written notice within three (3) weeks of the date when the claim, dispute or other matter in question became known or should have become known to the complaining party.

8.6 Acknowledgments

- A. This Agreement represents the entire and integrated Agreement between Owner and Contractor and supersedes all prior negotiations, representations or Agreements, either written or oral. This Agreement may be amended only by written instrument signed by both Owner and Contractor.

9.0 SPECIAL BINDING AND CONTRACT PROVISIONS

9.1 Submission Materials

- A. Letter of certification from the Bidder, attesting to Bidder's compliance with Davis-Bacon Wage and Labor Standards as stipulated in the Bid Documents.
- B. Identification (Names, addresses, and telephone numbers) of declared Indian laborers or subcontractors for the Project to be performed, and the appropriate percentage (%) of total workforce in relation to the proposed Bid amount.

10.0 FORM OF AGREEMENT BETWEEN OWNER AND BIDDER

10.1 Form to be Used

- A. The Agreement for the Project will be written on the forms indicated under the Bid Contract Documents.

11.0 LIQUIDATED DAMAGES

11.1 Time of Completion and Liquidated Damages

- A. Bidder must agree to commence Project on a date specified in a written "Notice to Proceed" issued by the Owner. The Bidder must agree to complete the Project within **365 calendar days** commencing on the date of the "Notice to Proceed".

11.2 Assessment

- A. Liquidated Damages will be assessed on this project at a rate of \$250 per calendar day beyond the contract time agreed upon in the contract documents, unless amended due to delays beyond the control of the Bidder and/or Owner.

12.0 MISCELLANEOUS PROVISIONS

12.1 Permits and Fees

- A. Contractor shall pay for all permits and fees applicable to the project that is required by Government, State and Local municipalities. Bidders are encouraged to contact the Owner's Lead Agent for additional information.
- B. Bidder's attention is drawn to the Navajo Nation Gross Receipts Tax documents attached herein, for regulations and requirements related to business activities on the Navajo Reservation.

END OF INSTRUCTIONS TO BIDDERS

BID FORM

Date of Bid: _____, 2017

Bidder: _____

**PROJECT NAME: Tonalea Chapter Replacement Building
Tonalea, Navajo Nation, Arizona
Architect's Project No. 2016.07**

Proposal of (company name): _____ (hereinafter called the "Bidder")
organized and existing under the laws of the State of _____, doing business as a
Corporation, Partnership or Individual. (Identify organization structure).

To: Tonalea Chapter (hereinafter called the "Owner").

The undersigned, as an authorized representative for the Bidder named above, in
compliance with the Invitation to Bid for the Project identified above having examined the
Bid Documents, and having examined the site of the proposed work, and being familiar
with all of the conditions surrounding the construction of the proposed project, including
the availability of labor, materials and supplies, hereby proposes to furnish all labor,
materials and supplies, and to construct the project in accordance with the contract
documents at the prices stated below. These prices are to cover all expenses incurred in
performing the work required under the contract documents, of which this proposal is a
part.

The undersigned Bidder's representative also acknowledges receipt of the following
Addenda, if applicable:

Addendum No: ____, dated _____, Addendum No: ____, dated _____

Addendum No: ____, dated _____, Addendum No: ____, dated _____

Addendum No: ____, dated _____, Addendum No: ____, dated _____

BASE BID: The Bidder agrees to perform all work for the construction of PROJECT, as
described in the Bid Documents for the following lump sum: (Amounts to be shown in
both words and figures. In case of a discrepancy, the amount shown in words will
govern, please print.) **All sums include Navajo Nation Business Activity Tax, as
well as all permits and fees if required by State and Local municipalities.**

Total Base Bid Lump Sum:

Dollars,

\$

Amount for Navajo Nation Business Activity Tax, as included in Base Bid:

Dollars,
(\$ _____)

The Bidder understands that the contract will be awarded in accordance with the provisions of the Instructions to Bidders and that the Owner reserves the right to reject any or all bids and to waive any formalities in the bid process.

The Bidder agrees that this bid shall be good and may not be withdrawn for a period of ninety (120) calendar days after the scheduled closing time for receiving bids.

Upon receipt of written notice of acceptance of this bid, Bidder will execute the final contract and deliver surety bonds as stipulated in the "Instructions to Bidders".

The BID SECURITY attached in the sum of 10% of the bid amount is:

_____ Dollars,
(\$_____)

and shall become the property of the Owner in the event the contract and bonds are not executed within the time set forth herein, as liquidated damages for the delay and additional expenses to the Owner caused thereby.

Respectfully Submitted,

By: _____
Authorized Agent (Typed/Printed)

Signature

Date

Company Name

Company Address

Telephone: _____

(Affix Corporate Seal if bid by Corporation)

BID BOND

KNOW ALL MEN BY THESE PRESENTS, That we the undersigned,

(Name of Principal)

as PRINCIPAL, and

_____, as SURETY are held and
(Name of Surety)

firmly bound unto the NAVAJO NATION TONALEA CHAPTER, hereinafter called the "Owner", in the penal sum of \$ _____ Dollars, lawful money of the United States, for the payment of which sum will and truly to be made, we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

THE CONDITIONS OF THIS OBLIGATION IS SUCH, that whereas the Principal has submitted the accompanying bid dated _____, 2017 for the TONALEA CHAPTER REPLACEMENT BUILDING Project.

NOW, THEREFORE, if the Principal shall not withdraw said bid within the period specified therein after the opening of the same, or if no period be specified, within one hundred twenty (120) days after said opening, and shall within the period specified therefore, or, if no period be specified within ten (10) days after the prescribed forms are presented to for signature, enter into a written contract with the Owner in accordance with the bid as accepted, and give the required performance and payment security, for the faithful performance and proper fulfillment of such contract; or in the event of the withdrawal of said bid within the period specified, or the failure to enter into such contract and give such security within the time specified, if the Principal shall pay the Owner the difference between the amount specified in said bid and the amount for which the Owner may procure the required work or supplies or both, if the latter amount to be in excess of the former, then the above obligation shall be void and of no effect, otherwise to remain in full force and virtue.

IN WITNESS WHEREOF, the above-bounded parties have executed this instrument under their several seals this _____ day of _____, 2017, the name and corporate seal of each corporate party being hereto affixed and these presents duly signed by its undersigned representative, pursuant to authority of its governing body.

In presence of

(Individual Principal) (SEAL)

(Business Principal)

ATTEST:

(Corporate Principal)

(Business Address)

BY: _____

Affix Corporate Seal

ATTEST:

(Corporate Surety)

(Business Address)

BY: _____

Affix Corporate Seal

(Power of Attorney for person signing for Surety Company must be attached to Bond)

CERTIFICATE AS TO CORPORATE PRINCIPAL

I, _____, certify that I am the _____ (Title)
of the Corporation named as Principal in the within Bond; that _____, who signed the said Bond on
behalf of the Principal was then _____, of said Corporation; that I know his signature, and his
signature thereto is genuine; and that said Bond was duly signed, sealed, and attested to for and in behalf of said corporation
by authority of its governing body.

(Corp. Seal)

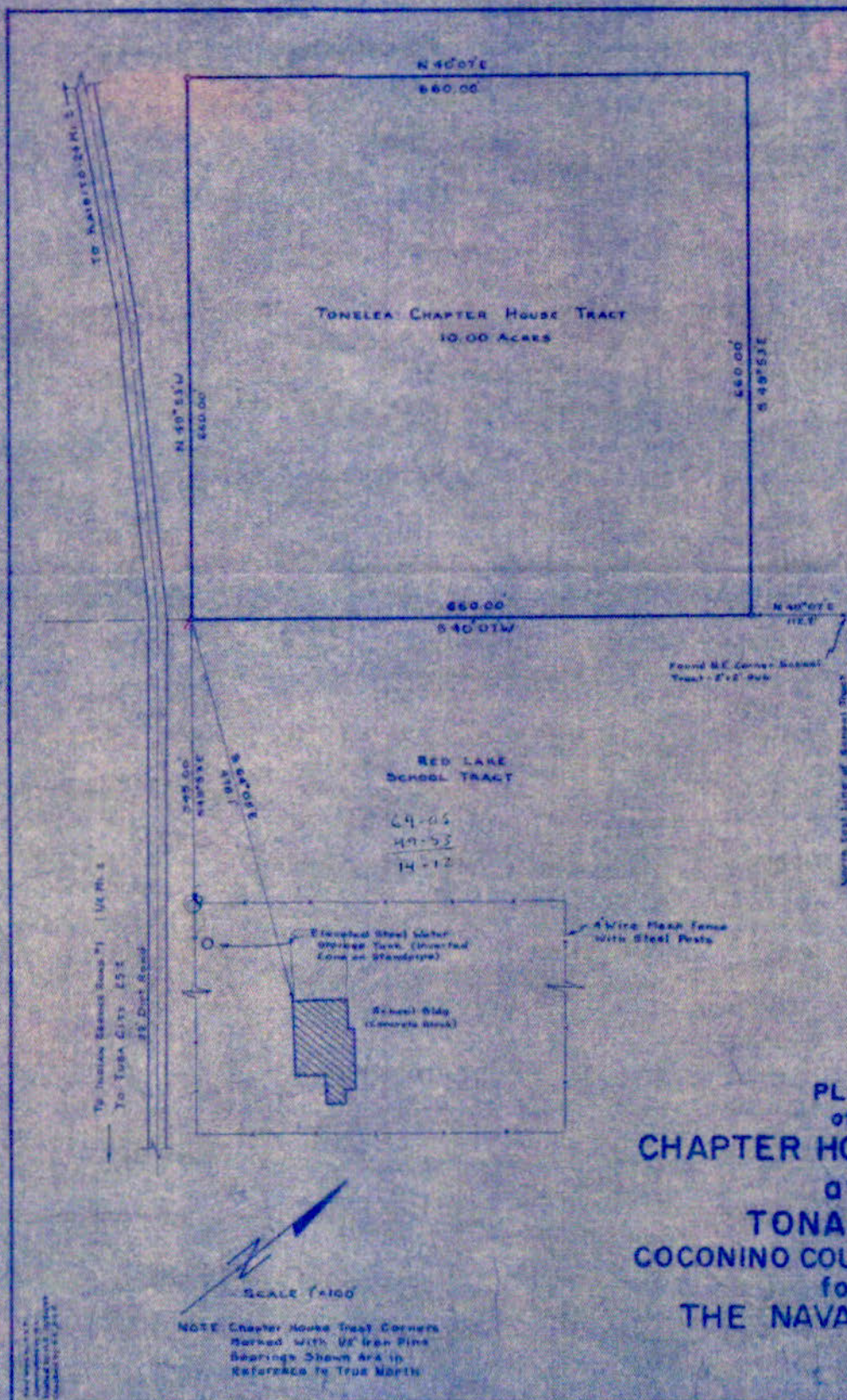
SUBCONTRACTOR LIST FORM

1. GENERAL:

- A. The Contractor must list below the name and address of all qualified Subcontractor's or suppliers he/she will employ for the various portions of the work indicated. Failure on the part of the Contractor to complete or properly complete this list will constitute sufficient grounds to reject his/her bid. Additionally, the Contractor shall declare whether subcontractors listed herein are Navajo-Owned businesses.
- B. The Contractor may list him/herself to perform one or more of the listed categories of work for which he has any requisite state licenses when required. In this case, all personnel performing such work at the site shall be carried on his/her own payroll, except that he/she may sublet those portions of the work that are traditionally and commonly sublet by the representative Subcontractor in the community. If equipment is leased with operators, the operators need not be carried on the Contractor's payroll.
- C. List only a single name for each listing. If a change occurs in the list, brought about by the exercising of any of the alternates involved in the Bid Form, the Bidder must show this change on the list. If no name appears other than those listed under the base bid, adherence to those names will be required no matter which alternate, if any, is exercised.

II. LISTING

TRADE	SUBCONTRACTOR/SUPPLIER NAME/ADDRESS	Navajo-Owned? Y/N
Earthwork		
Asphalt Paving		
Site Utilities		
Site Concrete		
Building Concrete		
Structural Steel		
Masonry		



DESCRIPTION OF CHAPTER HOUSE TRACT AT TONALEA COUNTY, STATE OF ARIZONA, FOR THE NAVAJO TRIBE

The tract described here is 10.00 acres, as located
of Arizona, and is more particularly described as follows:

Beginning at a pole being the west-southwest corner of the
tract of land, and being also a point on the Northwest corner
of the Red Lake School tract, and from thence the line runs
the Red Lake School building, and building being corner
block, bears S 64° 05' E, a distance of 428.3 feet

Thence N 49° 23' W, a distance of 660.00 feet to a pole
southerly corner of the tract described here of land

Thence N 49° 02' E, a distance of 660.00 feet to a pole
northerly corner of the tract described here of land

Thence S 49° 32' E, a distance of 660.00 feet to a pole
southerly corner of the tract described here of land, and
enclosed 2 inch square wooden pole being the most north
and Red Lake School tract, thence N 49° 02' E, a distance

Thence S 49° 02' W, a distance of 660.00 feet along its
boundary line of said Red Lake School tract, to the point

The enclosed area containing 10.00 acres, more or less.

CERTIFICATE OF SURVEY

I hereby certify that the survey and plat shown herein are
a true and correct copy of a survey made in the field on
my direction December, 1929.

F.M. Limbault
Registered P.E. No. 2298
State of Arizona

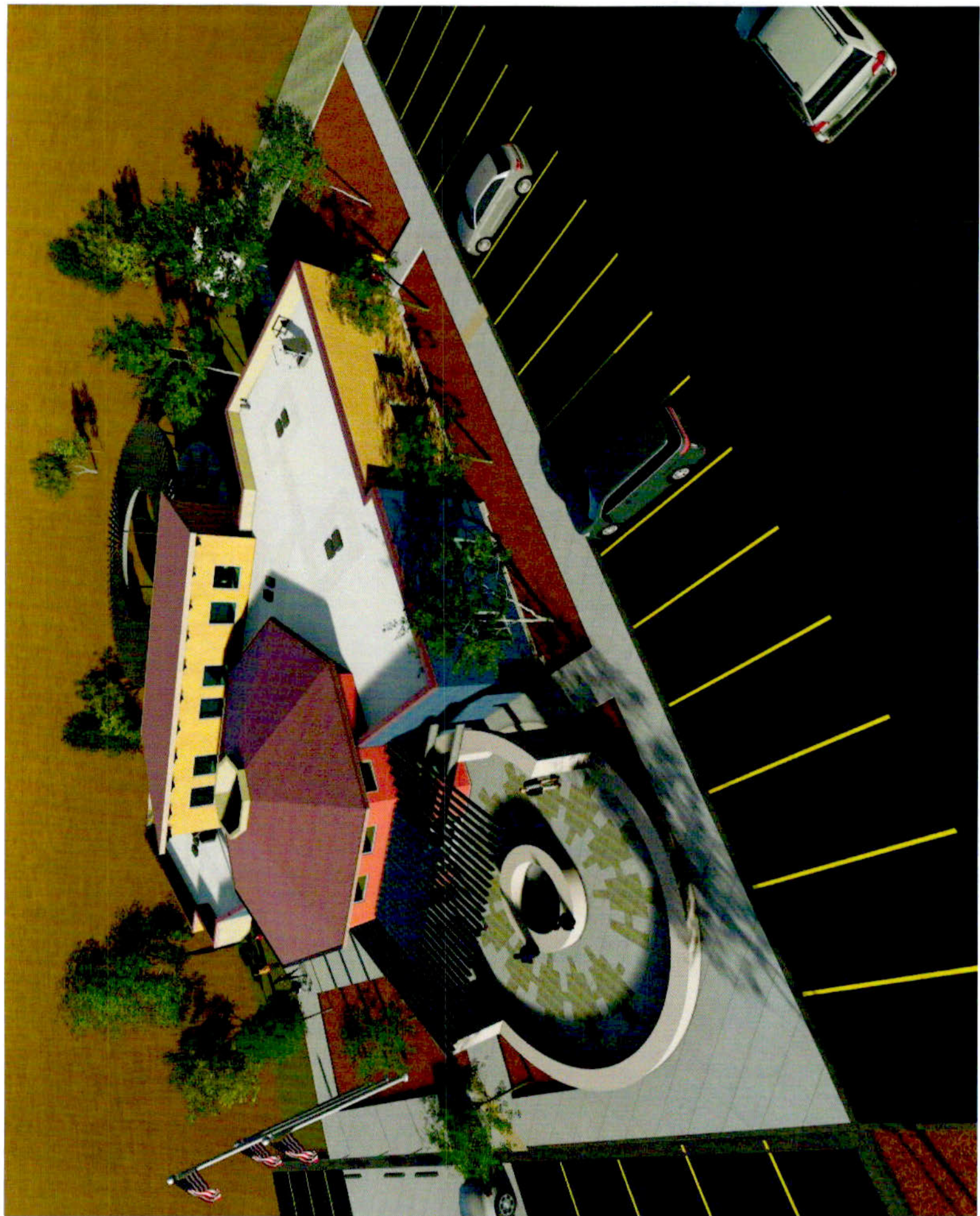
PLAT of CHAPTER HOUSE TRACT at TONALEA COCONINO COUNTY, ARIZONA for THE NAVAJO TRIBE

F.M. LIMBAULT
Consulting Engineer
Albuquerque, New Mexico

FILE NO.

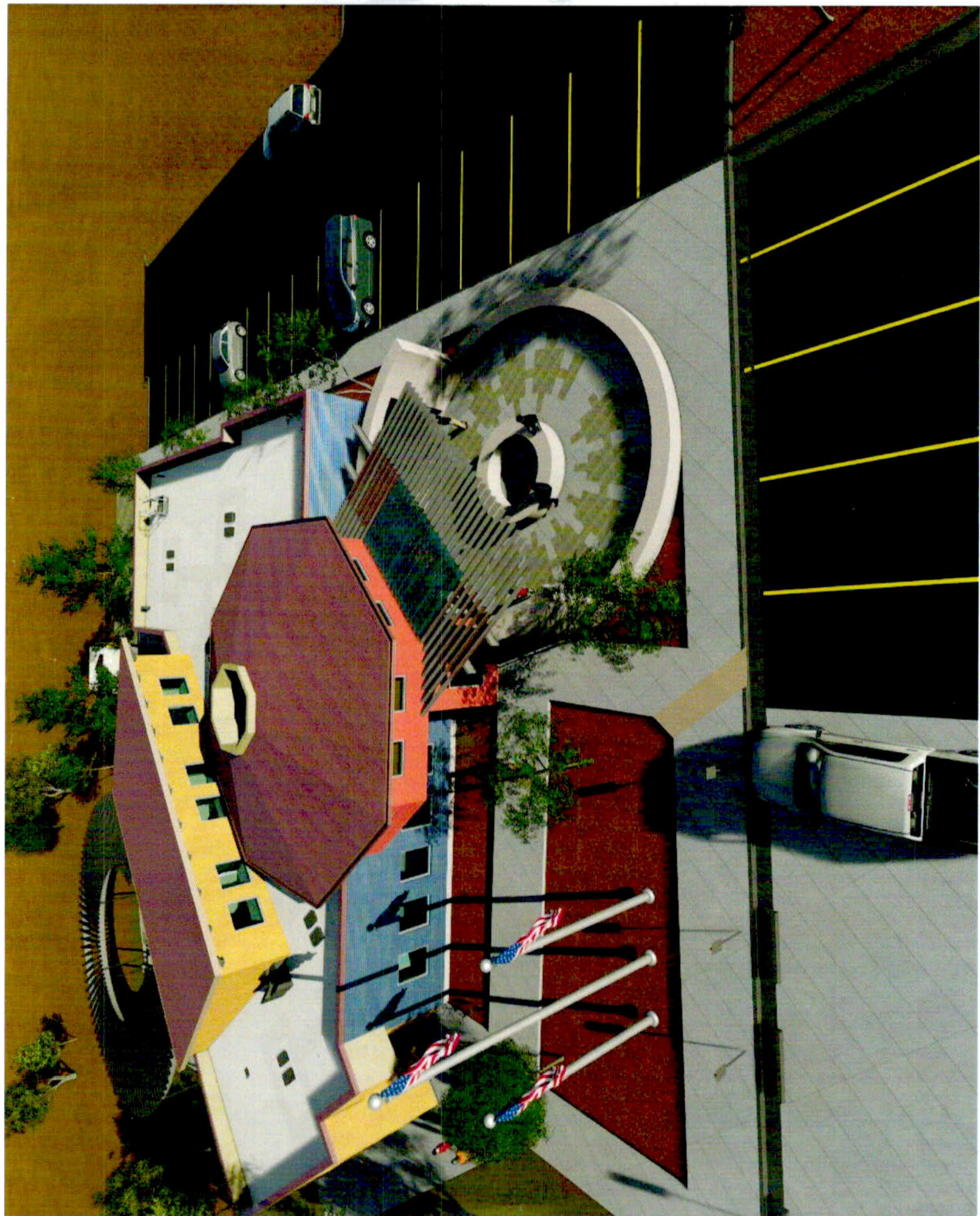














THE NAVAJO NATION

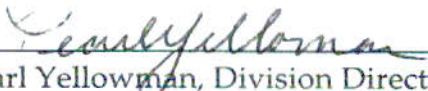
JONATHAN NEZ | PRESIDENT MYRON LIZER | VICE PRESIDENT



DDA-M19130

MEMORANDUM

TO : Department and Program Staff
Division of Community Development

FROM : 
Pearl Yellowman, Division Director
Division of Community Development

DATE : August 6, 2019

SUBJECT : **Delegation of Authority**

In my absence from the office on August 7, 2019 at 8:00am to 5:00pm, Mr. Patrick Dalgai shall be delegated in the capacity of the Division Director for Division of Community Development. The delegation includes handling administrative matters and signatory authority for routine documents, except those matters he feels requires my attention.

Your assistance and cooperation are appreciated. Thank you.

ACKNOWLEDGED BY:

 8.7.19

Patrick Dalgai, Acting Department Manager II
Community Housing & Infrastructure Department
Division of Community Development

c

Page ____ of ____
PROJECT FORM

PART II.		Project Information
Project Type:	Design & Construction	
Planned Start Date:	19-Aug	
Planned End Date:	21-Dec	
Project Manager Edward Preston		

Project Task List: such as Plan, Design, Construct, Equip or Furnish.					
FY _20__		FY _21__		exceeds 8 FY Qtrs.	
4th Qtr.	3rd Qtr.	4th Qtr.	3rd Qtr.	4th Qtr.	Qtr.

Project Task List: such as Plan, Design, Construct, Equip or Furnish.	FY 20				FY 21				Date 2020	Expected Completion Date if exceeds 8 FY Qtrs.									
	1st Qtr.		2nd Qtr.		3rd Qtr.		4th Qtr.												
	O	N	D	J	F	M	A	M			J	A	S	O	N	D	J	F	M
Design Phase-Architect: Legal Advertisement, Bidding/ Negotiation, Construction Administration GC- 164B Process, Monitoring of Construction to General Contractors- shop dwgs, submittals																			
Construction-General Contractor Issue Notice to Proceed (NTP), General Contractor to start civil ground work and start construction. And to Furnish and Equip the building to the issue of Occupancy.																			
PART V. Expected Quarterly Expenditures																			

**THE NAVAJO NATION
PROGRAM BUDGET SUMMARY**

Business Unit		NEW		Program Title:		Tonalear/Red Lake Chapter		Community	
PART	No.:			Division/Branch:		Development/Executive			
Prepared By: Brenda Holgate/Andy Thomas Phone No.: 928/326-6919 Email Address: acody@navajo-nsn.gov/bholgate@nndcd.org									

PART II. FUNDING SOURCE(S)	Fiscal Year /Term	Amount	% of Total	PART III. BUDGET SUMMARY	Fund Type Code	(A) NNC Approved Original Budget	(B) Proposed Budget	(C) Difference (Column B - A)
Shasin Funds	2020	3,000,000	100%	2001 Personnel Expenses				0
				3000 Travel Expenses				0
				3500 Meeting Expenses				0
				4000 Supplies				0
				5000 Lease and Rental				0
				5500 Communications and Ut				0
				6000 Repairs and Maintenan				0
				6500 Contractual Services				0
				7000 Special Transactions				0
				8000 Public Assistance				0
				9000 Capital Outlay	1		3,000,000	3,000,000
				9500 Matching Funds				0
				9500 Indirect Cost				0
				TOTAL		\$0.00	3,000,000	3,000,000

PART IV. POSITIONS AND VEHICLES Total # of Positions Budgeted: 0 # of Permanently Assigned Vehicles: 0	PART V. I HEREBY ACKNOWLEDGE THAT THE INFORMATION CONTAINED IN THIS BUDGET PACKAGE IS COMPLETE AND ACCURATE. <div style="display: flex; justify-content: space-between;"> <div> James Adakai, Department Manager II SUBMITTED BY: Program Manager's Printed Name SUBMITTED BY: Program Manager's Signature and Date </div> <div> Pearl Yellowman, Executive Director PROVED BY: Division Director/Branch Chief's Printed Name OVERED BY: Division Director/Branch Chief's Signature and Date </div> </div>
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THE NAVAJO NATION
PROGRAM PERFORMANCE CRITERIA

PART I. PROGRAM INFORMATION:Business Unit No.: NEW

Program Name/Title: _____

Tonalea/Red Lake Chapter

PART II. PLAN OF OPERATION/RESOLUTION NUMBER/PURPOSE OF PROGRAM:

CAP-34-98: To direct the chapter administration and management control system, by promoting efficiency and accountability to the chapter membership, and to effectuate plans of action to improve the standard of living for the chapter membership.

PART III. PROGRAM PERFORMANCE CRITERIA:

1st QTR		2nd QTR		3rd QTR		4th QTR	
Goal	Actual	Goal	Actual	Goal	Actual	Goal	Actual

Goal Statement:

To complete the Construction Phase/Schedule by the end of 3rd Qtr of FY 2021

Program Performance Measure:

To assist/monitor/execute the construction phase/activities for the Chapter Replacement Building.

Goal Statement:

Program Performance Measure:

Goal Statement:

Program Performance Measure:

Goal Statement:

Program Performance Measure:

Goal Statement:

Program Performance Measure:**PART IV. I HEREBY ACKNOWLEDGE THAT THE ABOVE INFORMATION HAS BEEN THOROUGHLY REVIEWED.**

James Adakai, Department Manager II

Program Manager's Printed Name

Program Manager's Signature and Date

Pearl Yellowman, Executive Director

Division Director/Branch Chief's Printed Name

Division Director/Branch Chief's Signature and Date

**THE NAVAJO NATION
DETAILED BUDGET AND JUSTIFICATION**

PART I. PROGRAM INFORMATION:

Program Name/Title: _____

Tonalea/Red Lake Chapter

Business Unit No.: _____

NEW

PART II. DETAILED BUDGET:

(A)	(B)	(C)	(D)
Object Code (LOD 6)	Object Code Description and Justification (LOD 7)	Total by DETAILED Object Code (LOD 6)	Total by MAJOR Object Code (LOD 4)
9050	9000 CAPITAL OUTLAY Building 9052 Building Construction Services for new Tonaiea Chapter replacement building for the community members to host their meetings, events, etc. Includes Site Prep, Civil, Parking Lot, Infrastructure hook-ups and building structure to be upright constructed.	3,000,000	3,000,000
TOTAL		3,000,000	3,000,000



DEPARTMENT OF HEALTH & HUMAN SERVICES

**Office of Environmental Health
and Engineering**

Public Health Service
Health Services Administration

U.S. Public Health Service
Tuba City Indian Medical Center
P.O. Box 600
167 North Main Street
Tuba City, AZ 86045-0600

November 25, 2001

George Betoney, Chapter President
Tonalea Chapter
P.O. Box 207
Tonalea, AZ 86044



Dear Mr. Betoney:

On November 20, 2001 Donna Gilbert, Tuba City Service Unit Sanitarian, and Timothy Vanek, Field Sanitarian conducted a comprehensive environmental health survey at the Tonalea Chapter House. The purpose of the survey was to evaluate the total facility environment. In addition, to make recommendations for the improvement of existing services such as sanitation, safety practices, food protection, and management practices related to public health and safety at this facility.

Ms. Gilbert and Mr. Vanek contacted Renda L. Fowler, Community Service Coordinator, and Jerry Whiterock, Grazing Committee member, during the survey.

The Tonalea Chapter House meeting hall was constructed in 1959, the remaining portion of the building was added-on during the 1970s. The Chapter House was last surveyed August 3, 1998. The areas examined during this survey were the building exterior, the entrance hall, restrooms, furnace closet, janitor's closet, storage closet, kitchen, meeting hall and three offices.

In the interest of improving environmental health related to the Tonalea Chapter House, please address the following concerns: lighting and electrical, kitchen, safety, general environmental, and structural.

If you have any questions regarding this environmental health survey, or if you would like information regarding compliance with the recommendations, please call our office at (928) 283-2843.

Sincerely,

Angie Maloney, RS, MPH
District Sanitarian
Tuba City District

Xc: Ralph Fulgham, Director, DEHS, NAIHS, OEHE, Window Rock, AZ 86515
Lyndon Endischee, NDOH, OEH
Herman Shorty, Navajo Division of Health, P.O. Box 1390, Window Rock, AZ 86515
Renda Fowler, Community Coordinator, Tonalea Chapter House, P.O. Box 207 Tonalea, AZ 86044
File (80871850)

LIGHTING/ELECTRICAL

1. Electrical plate above the GFCI in the female restroom is missing.
Recommendation: replace the missing plate.
2. Electrical outlet within six feet of wet area in janitor's closet is not GFCI type.
Recommendation: have a qualified, licensed electrical contractor replace this outlet with a ground fault correction indicator outlet.
3. Electrical wire connections in the ceiling of the furnace closet are exposed.
Recommendation: have a qualified, licensed electrical contractor inspect wire splices for safety, and junctions for appropriate covers.
4. Outlet in the east wall of the meeting hall is not flush with the wall.
Recommendation: (note: heritor "contractor" will refer to a qualified, licensed tradesperson) have an electrical contractor inspect outlets and ensure that they meet the current National Electrical Code.
5. The ventilation fan in the female restroom is inoperative.
Recommendation: have an electrical contractor repair or replace the fan.
6. The janitor's closet does not have an exhaust fan and has strong chemical odors.
Recommendation: have an electrical contractor install an exhaust fan in the janitor's closet.
7. The hardwired exit sign above the northeast exit of the meeting hall is not illuminated.
Recommendation: inspect the sign for burned out bulbs. For deficiencies related to faulty wiring, have an electrical contractor repair or replace the sign.
8. There are exposed wire splices above the double door entrance to the meeting hall.
Recommendation: have an electrical contractor inspect the exterior wiring and make repairs as necessary.
9. All of the exterior security light sockets are either empty, have remains of broken bulbs, or in one case, has interior bulbs installed.
Recommendation: use only all weather security lights in these sockets.

KITCHEN

1. There is gas odor evident upon entering the kitchen.
Recommendation: have a gas appliance contractor inspect the stove to ensure it is installed and functioning correctly.
2. The three-compartment sink splashguard is flaking.
Recommendation: replace the splashguard with a one-piece, waterproof unit. Suitable splashguards are typically plastic or stainless steel.
3. The under -the- sink cabinet has a bottom panel which does not allow unobstructed access to the floor. Additionally, there are several small openings in this panel.
Recommendation: the cabinet design does not allow cleaning of the floor beneath the sink; it creates a dark, undisturbed environment for pests to negotiate. If the cabinet bottom is needed for storage, seal off all openings through the panel so pests cannot gain access to work areas.
4. There was food debris on the floor under and around the sink area.
Recommendation: keep the floor and cabinet surfaces free of food residue. Incorporating a pre-and post-use checklist of the condition of food contact and non-food contact surfaces

in the kitchen will ensure that food is prepared in a sanitary environment. Clean these surfaces on a regularly scheduled basis or as necessary.

5. The cabinets, shelves, drawers and pantry area are constructed of either 1/4" inch plywood or paneling material. These surfaces are very rough, in some cases flaking, the joints are uneven and they tend to absorb water. The pantry shelves have exposed nails and other hardware.

Recommendation: use kitchen-grades cabinets and storage units. Surfaces need to be smooth, easily cleanable and sturdy. The current storage areas appear to be temporary, home-constructed fixes.

6. Floor tiles along the south side of the kitchen stove are damaged

Recommendation: replace all damaged or missing floor tiles.

7. The center worktable is homemade construction and is covered with a cracked vinyl sheet. It is not smooth, easily cleanable and is no longer sturdy.

Recommendation: use only commercial-grade equipment for food preparation surfaces. A stainless steel table will remain sturdy, smooth and easily cleanable after years of use.

8. There is a roof leak in the northwest corner of the kitchen above the stove fire extinguisher.

Recommendation: have a roof contractor inspect the roof in this area and all other suspect areas for leaks and determine an appropriate repair.

9. The stove hood fan is inoperative.

Recommendation: have an electrical contractor or an appliance technician inspect the stove hood fan and repair or replace the unit.

10. The stove surfaces are coated with grease, dust and food debris.

Recommendation: clean the stove and incorporate cleaning it in a regularly scheduled cleaning regimen, or as often as necessary.

11. There is blown sand along the windowsill.

Recommendation: clean the windowsills and include them in the regular cleaning schedule of other kitchen surfaces.

12. The counter top along the west wall is worn and is no longer smooth and easily cleanable.

Recommendation: replace the counter with suitable counter-top material.

13. Kitchen equipment and food preparation items are stacked on the floor.

Recommendation: store all kitchen equipment off the floor, and arrange to avoid contamination by dust and cleaning chemicals.

14. The freezer door in the (home type) refrigerator/freezer unit is cracked.

Recommendation: replace the cracked door.

15. The insulation along the bottom of the same unit is exposed.

Recommendation: have an appliance repair technician inspect this unit for serviceability and repair the loose insulation where necessary.

16. There are many non-kitchen items stored in the kitchen. The northeast corner of the kitchen has non-kitchen items stacked floor to ceiling. The closet is also filled to the ceiling with non-kitchen items.

Recommendation: store only kitchen items in the limited, kitchen storage space.

SAFETY

1. The portable fire extinguisher in the entrance hallway is not charged to the appropriate level.

Recommendation: contract with fire safety equipment servicing company to inspect your fire extinguishers and recharge them as necessary.

2. The kitchen does not have a portable, 12lb. ABC type fire extinguisher.

Recommendation: provide one for the kitchen. Mount the fire extinguisher so that the top of the bottle is 5' from the floor and clearly label its location.

3. Stored items are too close to the water heater in the hall closet.

Recommendation: keep a clear zone of 12" all around the water heater.

4. The carpet on the meeting hall podium is worn.

Recommendation: replace the worn carpet.

5. The modern cables for the computers in the meeting office are across the walkway.

Recommendation: re-route the cables so they do not pose a tripping hazard.

6. There is propane gas odor near the regulator on the 1000 gal propane tank.

Recommendation: have a LP-GAS technician inspect the tank and its delivery/pressure regulating equipment to ensure its serviceability and safety.

7. The 1000 gal propane tank is not posted with "WARNING FLAMMABLE" "NO SMOKING" signs.

Recommendation: consult with a LP-GAS technician for the appropriate size and placement of warning signs.

8. The front concrete steps are deteriorating and the sidewalks are uneven.

Recommendation: repair or replace the damaged or shifted concrete so that it no longer poses a tripping hazard.

9. Grazing committee member Jerry Whiterock reported that the gutter over the southeast (double door) entrance to the meeting hall leaks. Subsequently, the concrete surface in front of the doors becomes iced-over during the winter months.

Recommendation: replace the leaky gutters and use ice melt, (i.e. rock salt) as necessary during icy conditions.

GENERAL ENVIRONMENTAL

1. The male restroom window is not screened.

Recommendation: install a screen in this window.

2. The left hand sink in the male restroom was inoperative.

Recommendation: have a plumbing contractor repair the sink.

3. The female restroom has an opening into the ceiling drywall, the sink counter is damaged, a wall panel is coming apart and the toilet stall door is damaged (the resulting surface is jagged).

Recommendation: patch all holes in the drywall, repair or replace the sink counter so that it is smooth and easily cleanable, and replace the damaged toilet stall door.

4. The janitor's closet faucet does not have a vacuum breaker.

Recommendation: if a hose is used with this faucet, install a screw-on vacuum breaker on the end of the faucet before using a hose. You may also replace the faucet with a unit that has an internal vacuum breaker.

5. There are openings in the janitor's closet drywall along the ceiling and the walls. The drywall near the utility sink is not finished.

Recommendation: patch any openings in the drywall, finish and paint the unfinished drywall near the utility sink.

6. There is water damage in the janitor's closet near the utility sink.

- Recommendation:** replace the water damaged drywall and ensure that the utility sink splash guard is a sufficient size and is installed correctly.
7. The janitor's closet lacks racks to hang/store equipment and supplies.
Recommendation: install a suitable number of racks and shelves to accommodate all of the cleaning equipment and supplies.
 8. The wall/floor junction in the janitor's closet is not sealed.
Recommendation: install baseboard molding in the janitor's closet.
 9. A 2-gal water heater provides hot water to the janitor's closet and the restrooms.
Recommendation: have a plumbing contractor plumb the janitor's closet and restrooms to the 30-gal hot water heater in the hall storage closet.
 10. There are openings in the ceiling drywall of the furnace closet.
Recommendation: patch all openings in the drywall of the furnace closet.
 11. There are cleaning chemicals stored in the hall storage closet.
Recommendation: store cleaning chemicals in the janitor's closet once it has been appropriately vented.
 12. There are rodent droppings in the hall storage closet.
Recommendation: follow the attached guideline entitled "CLEAN-UP OF RODENT CONTAMINATED AREAS" before cleaning up the affected area.
 13. The baseboard doesn't meet the floor along the west wall of the meeting hall.
Recommendation: install baseboard molding that completely seals the floor/wall junction.
 14. There are cracks and a hole in the meeting hall (south) wall drywall.
Recommendation: repair the damaged drywall.
 15. There are no screens in any windows along the meeting hall (south) wall.
Recommendation: if these windows are opened for ventilation screen them.
 16. Firewood is stored in the meeting hall.
Recommendation: Store the firewood outside.
 17. The meeting hall double door exits are not self-closing. One of these doors is bent along the bottom edge allowing a gap beneath the door sweep.
Recommendation: install self-closing devices on the doors and repair the bent portion of the door so the gap along the bottom of the door is no more than 1/4".
 18. There is evidence of a roof leak above the meeting hall podium.
Recommendation: have a roofing contractor inspect the suspected leaky areas and make the appropriate repairs.
 19. There are openings in the drywall behind the podium from empty electrical outlets.
Recommendation: patch the openings.
 20. Podium counter surface is flaking off in spots.
Recommendation: repair or replace the counter surface so that is smooth and easily cleanable.
 21. Arm rest surfaces of the meeting hall podium chairs are cracked and damaged.
Recommendation: re-surface the arm rests so that they are smooth and easily cleanable or replace the chairs.
 22. The shelving in the conference room is homemade plywood construction, it has uneven joints and is not smooth and easily cleanable.
Recommendation: use shelves that can be cleaned effectively.
 23. There are utility piping holes through the exterior north wall which are excessively large.

Recommendation: fill these holes with a weather resistant grout or seal them with a collar fashioned from galvanized flashing material.

24. The seating benches in front of the announcement gazebo are warped/buckled and are not a suitable seat.

Recommendation: replace or remove the benches.

25. The building is not handicapped accessible.

Recommendation: detailed handicapped accessibility design criteria can be obtained from the ADA information line 1-800-514-0301. The same information can be downloaded in PDF format from the Americans with Disabilities Act homepage at: www.usdoj.gov/crt/ada/adahom1.htm. Please refer to the accessibility design criteria before completing any renovations.

STRUCTURAL

1. Upper southwest exterior corner of the building is cracked. The crack extends the length of the wall to the foundation.

Recommendation: have a qualified building inspector examine the damage to the building and recommend the appropriate repairs.

2. There are numerous cracks throughout the exterior west wall.

Recommendation: see recommendation #1 STRUCTURAL.

3. The upper northwest corner of the building is severely cracked. The load bearing triple layered roof truss is no longer supported by the wall.

Recommendation: see recommendation #1 STRUCTURAL.

4. There are numerous cracks throughout the exterior north wall.

Recommendation: see recommendation #1 STRUCTURAL.

5. The downspouts are buried immediately below the roof termination.

Recommendation: connect the downspouts to buried drain tile that empties down gradient away from the building foundation. The downspouts can terminate above ground as long as you add a suitable extension to the end of the downspout to direct the water down gradient away from the building foundation.

Attachment: MMWR Clean-up of Rodent Contaminated Areas

Submitted by:

Concurred by:

Timothy Vanek
Field Sanitarian

Donna Gilbert
Service Unit Sanitarian
Tuba City Service Unit



DEPARTMENT OF HEALTH & HUMAN SERVICES

Office of Environmental Health
and Engineering

Public Health Service
Health Services Administration

U.S. Public Health Service
Tuba City Indian Medical Center
P.O. Box 600
167 North Main Street
Tuba City, AZ 86045-0600

December 7, 2001

Joe Dayzie, Council Delegate
Tonalea Chapter
P.O. Box 207
Tonalea, AZ 86044

Dear Mr. Dayzie:

Enclosed is a copy of the comprehensive environmental health survey report on the **Tonalea Chapter House** that you requested.

I have reviewed and concur with this report.

Please submit a copy of the architectural plans to our office for review before any extensive remodeling or construction. Please contact our office at (928) 283-2843, if you have any questions concerning this report.

Sincerely,

Angie Maloney, RS, MPH
District Sanitarian
Tuba City District

Xc: Renda Fowler, Community Coordinator, Tonalea Chapter House, P.O. Box 207 Tonalea, AZ 86044
George Betoney, Chapter President, Tonalea Chapter House, P.O. Box 207, Tonalea, AZ 86044
Ralph Fulgham, Director, DEHS, NAIHS, OEHE, Window Rock, AZ 86515
Lyndon Endlschee, NDOH, OEH
File (80871850)

**TONALEA CHAPTER HOUSE
COMPREHENSIVE ENVIRONMENTAL HEALTH SURVEY REPORT
November 2001**

On November 20, 2001, Division of Environmental Health Services (DEHS) conducted a comprehensive environmental health survey at the **Tonalea Chapter House**. The purpose of the survey was to evaluate the total facility environment. Tonalea Chapter was seeking funding for a new building. The following DEHS and Tonalea Chapter personnel assisted with the survey or were contacted during the survey:

Donna Gilbert, Service Unit Sanitarian, DEHS, Tuba City
Tim Vanek, Field Sanitarian, DEHS, Tuba City
Renda L. Fowler, Tonalea Community Service Coordinator
Jerry Whiterock, Tonalea Grazing Committee Member

Tonalea Chapter House meeting hall was constructed in 1959 the remaining portion of the building was added-on during the 1970s. The Chapter House was last surveyed August 3, 1998. The areas examined during the survey were the building exterior, the entrance hall, restrooms, furnace closet, janitor's closet, storage closet, kitchen, meeting hall and three offices. The structural integrity of the building is questionable and needs immediate attention. All the furnishings, plumbing and electrical fixtures, water, sewer, and gas piping were obsolete and may not be found on the market for repairs or replacement. There are leaks in the gas piping in several locations placing the Chapter members at risk of possible injury.

SUMMARY AND RECOMMENDATION:

THE DIVISION OF ENVIRONMENTAL HEALTH SERVICES, OEHE, NAIHS, ACTING AS THE APPOINTED HEALTH ADVISORS FOR THE NAVAJO NATION SUPPORT THE TONALEA CHAPTER TO REPLACE THEIR CHAPTER BUILDING.

The following is our findings:

STRUCTURAL

1. The southeast meeting hall wall was severely cracked. The load bearing triple layered roof truss had separating approximately 2 inches and along both corners of the south wall. Two supports were built outside along the south wall to hold the building together.
2. There were numerous cracks throughout the whole exterior walls from the foundation to the roof.
3. It was apparent that the roof leaked in numerous places.
4. A thorough inspection of the roof and ceiling was not conducted. Leaks and cracks were noted only from the inside.
5. There were outer openings in the following areas: ladies restroom ceiling, the janitor's and furnace closet ceiling and walls, behind the podium from empty electrical outlets, along the south meeting hall wall, and underneath the entrance double doors.
6. A floor area of approximately 10-ft had sunk about 2 inches along the center of the

- south wall in the meeting room and the baseboard was not flush with the floor.
7. Our office has no documentation of conducting plan reviews on 1970 addition or any renovation that might have been made.
 8. The front concrete steps were deteriorating and the sidewalks were uneven.
 9. Staff reported that the rain gutter over the southeast entrance to the meeting hall leaks. Subsequently, the concrete surface in front of the doors becomes iced-over during the winter months.
 10. All the downspouts were extending into the ground.
 11. All of the exterior security light sockets were either empty, have remains of broken bulbs, or had interior bulbs installed.

LIGHTING/ELECTRICAL

1. Ground Fault Circuit Interrupter (GFCI) outlet cover in the ladies' restroom was missing.
2. Electrical outlet within six feet of wet area in the janitor's closet was not GFCI type.
3. Electrical wire connections in the ceiling of the furnace closet were exposed.
4. Electrical outlet along the east meeting hall wall was not flush with the wall.
5. The mechanical ventilation in the ladies' restroom was inoperable.
6. The janitors closet did not have mechanical ventilation, and there were strong chemical odors in this closet.
7. The hardwired exit sign above the northeast exit of the meeting hall was not illuminated.
8. There were exposed wire splices above the double door entrance to the meeting hall.

KITCHEN

1. There was gas odor evident upon entering the kitchen.
2. The cabinets, counters, shelves, drawers and pantry area were constructed of either ¼ inch plywood or paneling material. These surfaces were very rough, and the joints were uneven. The pantry shelves had exposed nails and other hardware. The center worktable was covered with cracked wallpaper.
3. The freezer door in the (residential) refrigerator/freezer unit was cracked and insulation was exposed underneath.
4. The splashguard above three-compartment sink was deteriorating.
5. The stove hood fan was inoperable.
6. Floor tiles around the kitchen stove were damaged.
7. Outer openings into the bottom cabinet were seen under the kitchen sink.
8. There were food debris on the floor, under and around the kitchen equipment.
9. All kitchen equipment surfaces were coated with grease, dust and food debris.
10. There was blown sand along the windowsill.
11. There were kitchen equipment, utensils, and non-kitchen items stacked floor to ceiling in the northwest corner and closet.

SAFETY

1. The portable fire extinguisher by the entrance hallway was not charged to the appropriate level.
2. The kitchen did not have a portable ABC type fire extinguisher.

3. Items were stored too close to the water heater in the hall closet.
4. The carpet on the meeting hall podium was worn.
5. The modem cables for the computers in the meeting office were crossing the walkway.
6. There was propane gas odor near the regulator on the 1000-gallon LPG gas tank.

GENERAL ENVIRONMENTAL

1. Only the building addition made since 1970 had central heating.
2. The meeting hall was heated with a wood stove without a safety barrier. Piles of firewood were stored in the meeting hall.
3. There were no screens on all the windows along the south meeting hall windows and the male restroom window.
4. One of the sinks in the male restroom was inoperable.
5. The ladies restroom sink counter was damaged, the wall panel was coming apart and the toilet stall door had sharp edges.
6. The janitor's closet floor sink faucet did not have a vacuum breaker.
7. The wall was water damaged near the janitor's closet floor utility sink.
8. The baseboards were missing in the janitor's closet.
9. There were rodent droppings in the hall storage closet.
10. The meeting hall double door exits were not self-closing.
11. There was evidence of a roof leak above the meeting hall podium.
12. Podium counter surface was flaking off in spots.
13. The podium chairs armrest was cracked and deteriorating.
14. The shelves in the conference room was homemade plywood construction, it had uneven joints.
15. The old utility piping through the north exterior wall was excessively large.
16. The wooden benches in front of the announcement gazebo were warped/buckled.
17. The building was not handicapped accessible although they had handicapped signs.

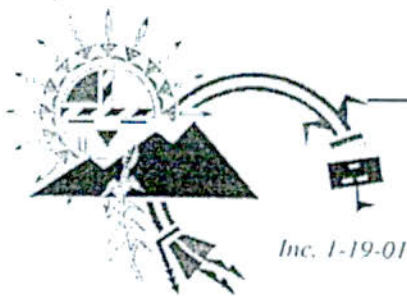
Please contact our office at (928) 283-2843, if you have any questions.

Submitted by:

Concurred by:

Timothy Vanek
Field Sanitarian
Tuba City Service Unit

Donna Gilbert
Service Unit Sanitarian
Tuba City Service Unit



TUBA CITY REGIONAL HEALTH CARE CORPORATION
Division of Environmental Health Services

167 North Main Street, P.O. Box 600
Tuba City, Arizona 86045-0600
(928) 283-2844

February 7, 2007

Vincent Denetdeal, Chapter Coordinator
Tonalea Chapter
P.O. Box 207
Tonalea, Arizona, 86044

Dear Mr. Denetdeal:

Per your request on February 6, 2007, Lyndon Endischnee, Environmental Health Officer II conducted a comprehensive environmental health survey at the **Tonalea Chapter House**. The purpose of the survey was to evaluate the integrity of the existing chapter building for a proposed addition on the southwest corner of the building. The evaluation emphasis was limited to the building structure (exterior and load bearing walls, roof, wiring, etc.), sidewalk, and the parking lot.

Tonalea Chapter House meeting area was constructed in 1959 and has severely dilapidated over the years, evident by the cracks in the walls. In 1970's, the building occupying the chapter's secretary office, conference room, and restrooms, was added-on. There are no documented plan reviews on the initial construction of the Chapter building or any other renovations and additions. The Chapter House was last surveyed November 20, 2001.

Our findings during the survey are, but not limited to:

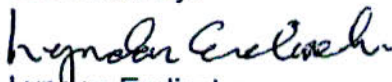
- There were numerous cracks from foundation to the top of the exterior walls around the entire building structure, most prominent in the southeast corner of meeting hall.
- The load bearing triple layered roof truss along the east wall of the meeting hall was separating. The truss support walls had cracked and two supports were built against the east wall to hold the roof and building together.
- It was apparent that the roof leaked in numerous places. A thorough inspection of the roof and ceiling was not conducted. Leaks and cracks were noted only from the inside.
- The sources of heat for the building are a wood stove and space heaters. At the beginning of the survey at 10:10 am, there was no fire in the stove and the building was cold. The temperature appeared to be below 50 degrees. It was reported that when two or more space heaters are on at the same time, it trips the breaker, which is a clear indication of power overload.
- Although no dust or sand was observed in the southwest corner of the meeting hall during the survey, reportedly blow sand comes in under the wall during high winds.

- Majority of the furnishings, plumbing and electrical fixtures, water, sewer, and gas piping were obsolete and spare parts may not be found on the market for repairs or replacements.
- The front concrete steps, sidewalks, and parking lots do not comply with the Uniform Federal Accessibility Standards (UFAS). The steps were deteriorating, and numerous sidewalks were cracked and uneven, potential of trip hazards.

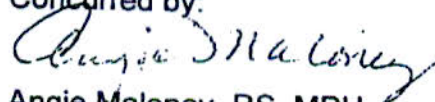
AS THE APPOINTED HEALTH ADVISOR TO THE NAVAJO NATION, TUBA CITY REGIONAL HEALTH CARE CORPORATION, OFFICE OF ENVIRONMENTAL HEALTH, DIVISION OF ENVIRONMENTAL HEALTH SERVICES RECOMMENDS THE TONALEA CHAPTER, HAVE A CERTIFIED/LICENSED STRUCTURAL ENGINEER CONDUCT A THROUGH EVALUATION OF THE EXISTING BUILDING, SO THE CHAPTER CAN MAKE A COST EFFICIENT DECISION FOR AN ADDITION TO THE BUILDING.

If you have any questions concerning this report, please contact our office at (928) 283-2844.

Submitted by:


Lyndon Endisch
Environmental Health Officer II

Concurred by:


Angie Maloney, RS, MPH
District Sanitarian

Cc: Joseph Engelken, Chief Executive Officer, TCRHCC
David Shortey, Navajo Risk Management, PO Box 1690, Window Rock, AZ 86515
Ken Secord, Director, OEHE-Division of Environmental Health Services, NAIHS, Window Rock, AZ
File-Tonalea Chapter House



TUBA CITY REGIONAL HEALTH CARE CORPORATION
Division of Environmental Health Services

167 North Main Street, P.O. Box 600
Tuba City, Arizona 86045-0600
(928) 283-2844

Inc. 1-19-01

October 15, 2012

Mr. Chester Claw, Chapter President
Mr. Steven Arizana, Chapter Vice-President
Nora Fowler, Chapter Secretary
Tonalea Chapter
P.O. Box 207
Tonalea, AZ 86044

Tonalea Chapter Officials:

On October 15, 2012, Mr. Lyndon Endischee, Environmental Health Officer II, Ms. Angelita Chee, Environmental Health Technician, and I surveyed the Tonalea Chapter House. The purpose of the survey was to evaluate the structural integrity of the facility environment. In addition, to make recommendations for the improvement of existing services such as sanitation, safety practices, and management practices related to public health and safety at this facility.

The Tonalea Chapter meeting hall was constructed in 1959, and the remaining portion of the building was added-on during the 1970s. It appeared that the chapter house had undergone some recent renovations, but our office did not conduct plan reviews and approval. Copies of the Chapter House surveys on November 2001, December 2001 and February 2007 are attached. Pictures of the chapter house are also enclosed. The recommendation that a structural engineer evaluate the structural soundness of the chapter building was not done prior to the chapter renovations. The structural concerns that were addressed in the previous environmental health surveys in 2001 and 2007 have come to a point of being unsafe for the chapter employees, and the community at large.

The chapter compound to the south, west, and northwest is unsafe because of several abandoned buildings. A trailer on the south, storage building(s) on the west, and a Hogan structure to the northwest of the chapter house present safety hazards such that the structures are dilapidated, not repairable, and provide harborages (shelter) for animals and rodents. There were also numerous inoperable farm equipment and vehicles on the chapter compound that are beyond repair. Photos of the dilapidated structures are attached.

SUMMARY AND RECOMMENDATION:

THE TUBA CITY REGIONAL HEALTH CARE CORPORATION, DIVISION OF ENVIRONMENTAL HEALTH SERVICES, ACTING AS THE APPOINTED HEALTH ADVISORS FOR THE NAVAJO NATION RECOMMENDS:

- 1. THAT THE TONALEA CHAPTER BE CLOSED DUE TO NUMEROUS INTER-RELATED CONTRIBUTING FACTORS THAT CAN ADVERSELY AFFECT THE CHAPTER STAFF AND THE GENERAL PUBLIC;**
- 2. SEEK FUNDS TO REPLACE THE CHAPTER HOUSE FACILITY;**
- 3. SUBMIT AS-BUILT PLANS FOR ANY NEW BUILDINGS TO OUR OFFICE;**
- 4. THAT CONSTRUCTION NOT COMMENCE UNTIL A PLAN REVIEW OF THE BUILDING AS-BUILTS ARE REVIEWED AND APPROVED.**
- 5. THAT CONSTRUCTION BE DONE BY PROFESSIONALS WITH WARRANTY COVERAGE AND RECOURSE FOR CORRECTIONS IF NECESSARY.**
- 6. REMOVE ALL UNSAFE, DILAPIATED STRUCTURES, INOPERABLE HEAVY EQUIPMENT AND VEHICLES FROM THE CHAPTER COMPOUND TO ELIMINATE HEALTH AND SAFETY HAZARDS.**

If you have any questions regarding this environmental health survey, call our office at (928) 283-2844.

Sincerely,



Angie Maloney, RS, MPH

District Sanitarian

Tuba City Regional Health Care Corporation

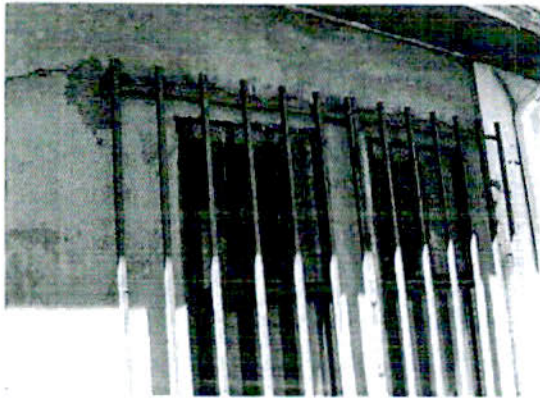
Xc: Director, DEHS, NAIHS, OEHE, Window Rock, AZ 86515

Herman Shorty, Navajo Division of Health, P.O. Box 1390, Window Rock, AZ 86515

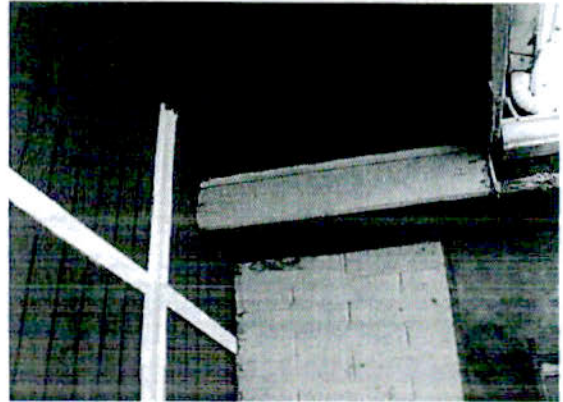
Betty Tso, Community Service Coordinator, Tonalea Chapter House, P.O. Box 207, Tonalea, AZ 86044

File (80871850)

1 Loralan Chapter House Closure 10/15/12



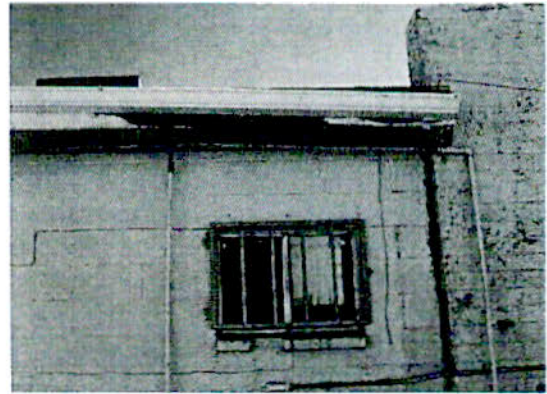
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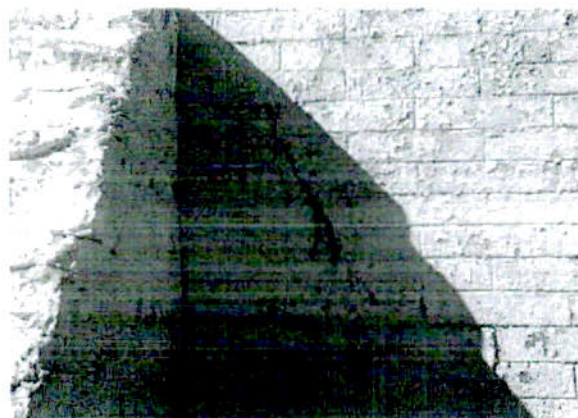
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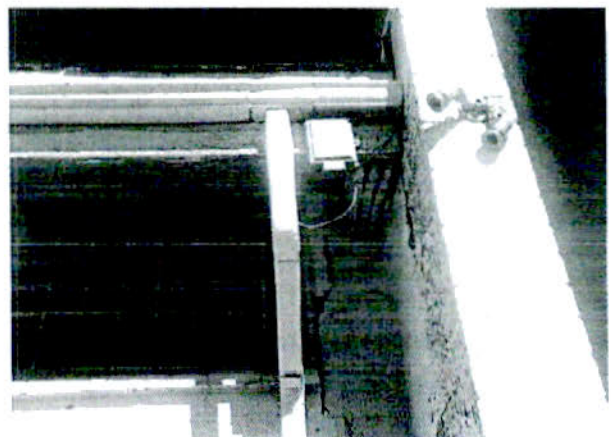
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Chapter



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Chapter

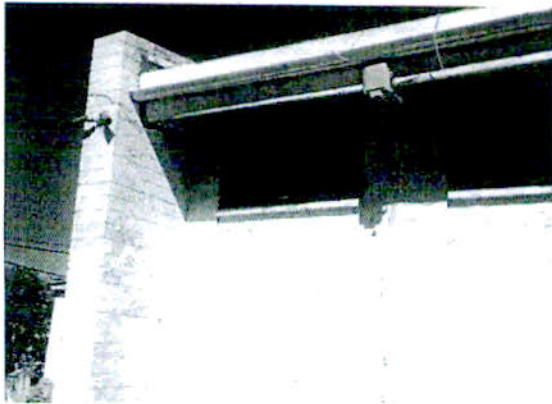
2 Janalee Chapter House Closure 10/15/12



Chapter



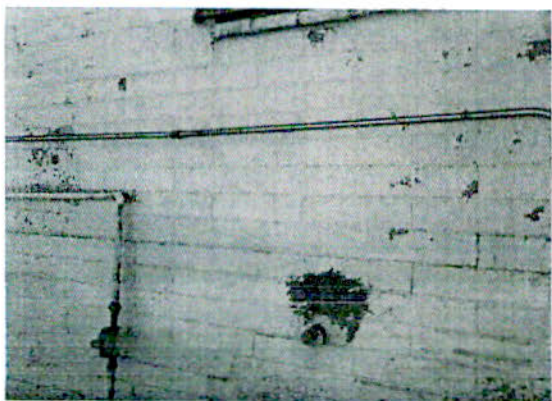
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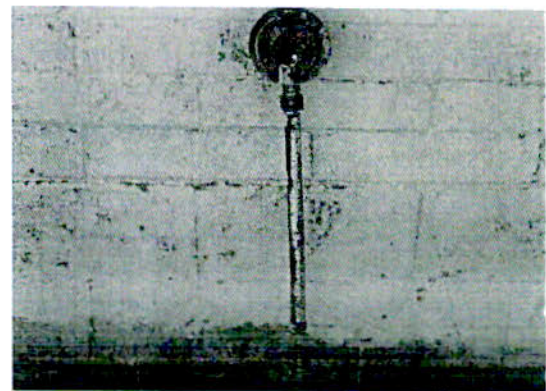
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Chapter



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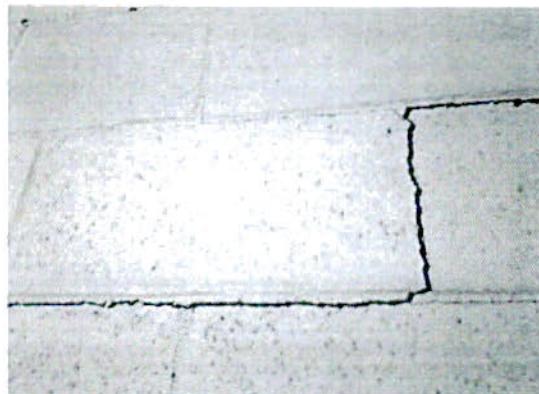


Chapter

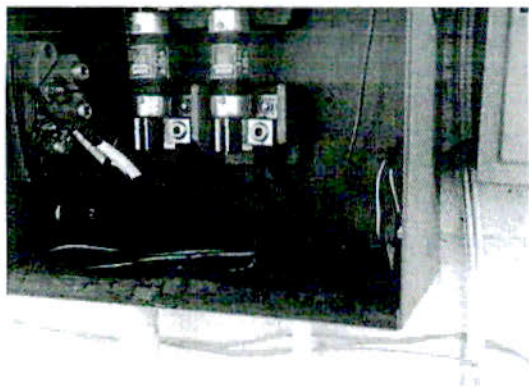
Jonah Chapter House Closure 10/15/12



Chapter



Chapter



Chapter



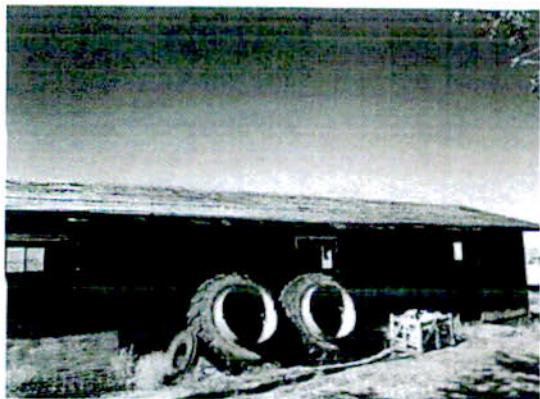
Hogan



Hogan



Hogan



Storage Bldg



Storage Bldg



Storage Bldg



Trailer



Trailer



Trailer



The Navajo Nation
Occupational Safety & Health Administration

BEN SHELLY
President

REX LEE JIM
Vice President

MEMORANDUM

July 23, 2012

TO : Ms. Dorothy Scott
Community Services Coordinator
Cameron Chapter House

FROM : Shawnevan Dale 
Senior Safety Officer
Navajo Occupational Safety & Health Administration

RE : Order of Closure

This letter shall serve as notice to the Building Owners/Occupants that the Navajo Occupational Safety & Health Administration (NOSHA) has closed your facility for the following reasons:

- Lack of Cooling.
 - No adequate cooling for staff members assigned to work location. Temperatures were in excess of 90 degrees which could lead to dehydration, fatigue as well as trigger health related illness (Especially in people with compromised immune systems)
- Lack of Potable water.
 - It was reported that the Tuba City Health Care Environmental Health Staff suggested closure of the kitchen & restrooms. Though "Porta-Johns" were provided, there was no potable water source for staff to sanitize and disinfect after facility uses. There was also a lack of hot water, which is required by Health Care Standards for such cleanup.

It is the responsibility of NOSHA to ensure that employers provide their employees a workplace free from recognized hazards and provides adequate toilet facilities. NOSHA's priority is to protect the general health and safety of employees; I also observed that Food Distribution Staff were also utilizing the meeting room facilities, which had a swamp cooler that was ineffective. The General public was also exposed to high temperatures in the facility while conducting business there. NOSHA will lift the order of closure once the facility is made occupiable by providing adequate cooling/heating, providing potable water and facilities.

We look forward to working with you in resolving this matter, please don't hesitate to contact me or the Director with any further questions or concerns pertaining to any safety related matter. I would strongly advise working with the Navajo Nation Safety Loss Control Program to address this matter in a timely and expeditious matter, they can be reached at (928) 871-6085.

Xc: Mr. William Lynch, PSI SLCP
Files

EXHIBIT

4

Jainqqr

SIHASIN FUND POWERLINE AND CHAPTER CAPITAL PROJECTS EXPENDITURE PLAN

EXHIBIT:

D

NO.	CHAPTER	PROJECT DESCRIPTION	PROJECT TYPE (Pre-Design, Design, Design/Construction)	PROJECT DURATION	YEAR 1 FUNDING	YEAR 2 FUNDING	YEAR 3 FUNDING	MATCHING FUNDS (LEVERAGE)	SIHASIN FUNDS REQUESTED
124	Cornfields	Surprise Low Water Crossing (Road)	Pre-Design	26-36 months	\$0.00	\$166,000.00	\$0.00	\$0.00	\$166,000.00
125	Cornfields	Rural Address LBAC E 9th	Design/Construction	12 months	\$10,000.00	\$0.00	\$0.00	\$0.00	\$10,000.00
126	Cornfields	Backhoe Purchase	Purchase	6 months	\$40,000.00	\$0.00	\$0.00	\$15,000.00	\$40,000.00
127	Cornfields	Green House	Design/Construction	12 months	\$1,000.00	\$0.00	\$0.00	\$1,000.00	\$1,000.00
128	Kindergarten	Chapter House Parking Lot	Design/Construction	12-24 months	\$94,731.32	\$0.00	\$0.00	\$0.00	\$94,731.32
129	Jeddito	Backhoe Purchase	Major Equipment	6 months	\$107,064.66	\$0.00	\$0.00	\$0.00	\$107,064.66
130	Jeddito	Barroom Addition (Coldwater Loop)	Design/Construction	18-24 months	\$0.00	\$963,134.33	\$0.00	\$0.00	\$963,134.33
131	Jeddito	Barroom Addition (Upper Highland/Setting Rk.)	Design/Construction	18-24 months	\$0.00	\$363,134.34	\$0.00	\$0.00	\$363,134.34
132	Steamboat	Old Chapter Renovation (Stone Bldg.)	Construction	8-12 months	\$220,000.00	\$0.00	\$0.00	\$0.00	\$220,000.00
133	Steamboat	Chapter Building Renovation	Design/Construction	18-24 months	\$0.00	\$0.00	\$400,000.00	\$50,000.00	\$400,000.00
134	Steamboat	Chapter Warehouse	Design/Construction	18-24 months	\$0.00	\$213,333.33	\$0.00	\$25,000.00	\$213,333.33
135	Canada	Senior Center Building	Design/Construction	18-24 months	\$0.00	\$833,333.34	\$0.00	\$0.00	\$833,333.34
136	Coppermine	Backhoe	Major Equipment	4-6 months	\$50,000.00	\$0.00	\$0.00	\$0.00	\$50,000.00
137	Coppermine	Multipurpose Building	Pre-Design	18-24 months	\$0.00	\$0.00	\$200,000.00	\$0.00	\$200,000.00
138	Coppermine	Western Navajo Pipeline, Fireflow, Storage Tank	Design/Construction	18-24 months	\$0.00	\$400,000.00	\$0.00	\$0.00	\$400,000.00
139	Kalibeto	Kalibeto Design Infrastructure	Design/Construction	18-24 months	\$0.00	\$370,000.00	\$0.00	\$0.00	\$370,000.00
140	Tonalea	Government Building	Construction	8-12 months	\$1,050,000.00	\$0.00	\$0.00	\$0.00	\$1,050,000.00
141	Klagetich	Head Start Project	Pre-Design	8-12 months	\$0.00	\$400,000.00	\$0.00	\$0.00	\$400,000.00
142	Lupton	Basketball Court Development	Pre-Design	12 months	\$0.00	\$53,795.00	\$0.00	\$0.00	\$53,795.00
143	Lupton	Cemetery	Pre-Design	13 months	\$0.00	\$0.00	\$100,000.00	\$0.00	\$100,000.00
144	Lupton	Warehouse Renovation	Pre-Design	14 months	\$68,795.00	\$0.00	\$0.00	\$0.00	\$68,795.00

Job
C01717 TONALEA CHPTR HS REPLACEMENT BLD
Project
540 THE SIHASIN FUND

Thru Date 8/31/2019

Cost Code	Cost Type	Description	L P M D E C U M	Original Budget Amt	Revised Budget Amt	Actual Amount	Open Commit Amount	Budget Balance	% Revised Spent	% Revised Remaining
1996	Allocation		7 N	1,050,000.00-	1,050,000.00-			1,050,000.00-		1.00
1991	Overhead Allocation		6 T	1,050,000.00-	1,050,000.00-			1,050,000.00-		1.00
1990	Other Revenues		5 T	1,050,000.00-	1,050,000.00-			1,050,000.00-		1.00
1850	Other Revenue Sources		4 T	1,050,000.00-	1,050,000.00-			1,050,000.00-		1.00
1000	Revenues		3 T	1,050,000.00-	1,050,000.00-			1,050,000.00-		1.00
9050	Building		6 B N	525,000.00	525,000.00			525,000.00		1.00
9050	Building		6 T	525,000.00	525,000.00			525,000.00		1.00
9070	CAP-Pro Tech Services		6 B N	525,000.00	525,000.00			525,000.00		1.00
9070	CAP-Pro Tech Services		6 T	525,000.00	525,000.00			525,000.00		1.00
9001	Real Property		5 T	1,050,000.00	1,050,000.00			1,050,000.00		1.00
9000	Capital Outlay		4 T	1,050,000.00	1,050,000.00			1,050,000.00		1.00
2000	Expenses		3 T	1,050,000.00	1,050,000.00			1,050,000.00		1.00

Resolution CAP-35-18
set up October 2018.



Document No. 013108

Date Issued: 08/07/2019

SECTION 164 REVIEW FORM

Title of Document: Tonalea Chapter-New Chapter House Contact Name: CODY, ANGELA

Program/Division: DIV. OF COMMUNITY DEVELOPMENT


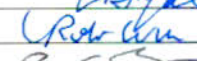

Email: acody@navajo-nsn.gov Phone Number: (928) 362-6919

Division Director Approval for 164A: 

Check document category; only submit to category reviewers. Each reviewer has a maximum 7 working days, except Business Regulatory Department which has 2 days, to review and determine whether the document(s) are sufficient or insufficient. If deemed insufficient, a memorandum explaining the insufficiency of the document(s) is required.

Section 164(A) Final approval rests with Legislative Standing Committee(s) or Council

☐ **Statement of Policy or Positive Law:** Sufficient ☐ Insufficient ☐
1. OAG: _____ Date: _____

☒ **IGA, Budget Resolutions, Budget Reallocations or amendments: (OMB and Controller sign ONLY if document expends or receives funds)**
1. OMB:  - Sec Memo Date: 8-16-19 Sufficient ☐ Insufficient ☒
2. OOC:  Date: 8-20-19 Sufficient ☐ Insufficient ☒
3. OAG:  Date: 8-22-19 Sufficient ☒ Insufficient ☐

Section 164(B) Final approval rests with the President of the Navajo Nation

☐ **Grant/Funding Agreement or amendment:**
1. Division: _____ Date: _____ Sufficient ☐ Insufficient ☐
2. OMB: _____ Date: _____ Sufficient ☐ Insufficient ☐
3. OOC: _____ Date: _____ Sufficient ☐ Insufficient ☐
4. OAG: _____ Date: _____ Sufficient ☐ Insufficient ☐

☐ **Subcontract/Contract expending or receiving funds or amendment:**
1. Division: _____ Date: _____ Sufficient ☐ Insufficient ☐
2. BRD: _____ Date: _____ Sufficient ☐ Insufficient ☐
3. OMB: _____ Date: _____ Sufficient ☐ Insufficient ☐
4. OOC: _____ Date: _____ Sufficient ☐ Insufficient ☐
5. OAG: _____ Date: _____ Sufficient ☐ Insufficient ☐

☐ **Letter of Assurance/M.O.A./M.O.U./Other agreement not expending funds or amendment:**
1. Division: _____ Date: _____ Sufficient ☐ Insufficient ☐
2. OAG: _____ Date: _____ Sufficient ☐ Insufficient ☐

☐ **M.O.A. or Letter of Assurance expending or receiving funds or amendment:**
1. Division: _____ Date: _____ Sufficient ☐ Insufficient ☐
2. OMB: _____ Date: _____ Sufficient ☐ Insufficient ☐
3. OOC: _____ Date: _____ Sufficient ☐ Insufficient ☐
4. OAG: _____ Date: _____ Sufficient ☐ Insufficient ☐


THE NAVAJO NATION

JONATHAN NEZ | PRESIDENT MYRON LIZER | VICE PRESIDENT



Memorandum:

To: 2 NNC § 164 Reviewers
Delegates & 2 NNC '164 Reviewers
Navajo Nation Government

From: 
Robert Willie, Accounting Manager
Office of the Controller

Date: August 20, 2019

Subject: 164- 013108- Tonalea Chapter-New Chapter House.

The Office of the Controller has reviewed the above referenced document.

1. The balance of the UUFB is \$37,960,422 as of June 20, 2019. Within the Three Branch Chief agreement an amount of \$21,000,000 is intended to be set aside as part of the FY 2020 comprehensive budget to address the impending FY 2021 projected General Fund Revenue decrease. Unmet needs amounts have yet to be determined but would also reduce this available amount. In addition, there are requests from the UUFB for water rights and DALTC that would further reduce the amount of the UUFB.
2. The amount of the Sihasin Fund is \$341,623,953 as of the last Controller's report dated July 12, 2019 for the NN Council Summer Session.
3. Supplemental Funding Proposal Summary form indicates the Sihasin or Undesignated, Unreserved Fund Balance as the funding source. The budget forms attach indicate Sihasin Fund. This would need to have correct funding source identified.
4. This funding request is in the amount of \$3,000,000, for construction of a new Tonalea Chapter replacement building.
5. This request would be considered a non-recurring expense.

If you should have any questions you can contact me at tribal extension X6125

NAVAJO NATION OFFICE OF THE CONTROLLER

P.O.BOX 3150 · WINDOW ROCK, AZ 86515 · PHONE: (928) 871-6398 · FAX: (928) 871-6026

THE NAVAJO NATION



JONATHAN NEZ | PRESIDENT MYRON LIZER | VICE PRESIDENT

August 16, 2019

MEMORANDUM

To: Executive Order 164 Reviewers

From:


Dominic Begay, Executive Director
Office of Management and Budget

Subject: 164 Review Document No. 013108-Funding Proposal by Tonalea/Red Lake Chapter for the New Chapter Replacement in the amount of \$3,000.000

Pursuant to Presidential Executive Order 07-2013 requiring review, OMB provides the following comments.

1. It is not clear on the funding amount(s). The Supplemental Form and Budget Form 1 states \$3M, but the proposal narrative, page 9, also shows \$3M as the total need. However, \$1,050,000 from Sihasin Funds was allocated to this project (see attachment) and Tonalea Chapter will provide match funding in the amount of \$263,203.33.
2. The Office of the Controller says the UUFB has an amount of \$37,960,422 available at this time. This project appears to be eligible for funding from this source.
3. OMB did an earlier review of a similar proposal and it appears this document is the corrected version.
4. Because of the limited availability of funds, OMB advises the Branch Chiefs to prioritize all supplemental funding proposals pursuant to FY 2019 Budget Resolution CS-68-18 (paragraph 'M'), the FY 2019 Budget Instructions Manual Section XIV, and the Appropriations Act. This activity should be completed by each Branch Chief to determine priorities.

Should there be any questions, contact Selena Begay, Senior Budget Analyst at 928 871-6470.

Attachments:

xc: OMB File



☐ RESUBMITTAL

NAVAJO NATION DEPARTMENT OF JUSTICE

DOCUMENT REVIEW REQUEST FORM



RECEIVED	
AUG 22 2019	
OFFICE OF LEGISLATIVE COUNSEL	
DOJ	
8/21/19 @ 2:18 pm	
DATE / TIME	
<input checked="" type="checkbox"/> 7 Day Deadline	
DOC #:	013108
SAS #:	
UNIT:	EDUC

*** FOR NNDJ USE ONLY - DO NOT CHANGE OR REVISE FORM. VARIATIONS OF THIS FORM WILL NOT BE ACCEPTED. ***

CLIENT TO COMPLETE

DATE OF REQUEST: 8/21/2019 ENTITY/DIVISION: DCD
 CONTACT NAME: Angie Cody DEPARTMENT: Tonalea Chapter
 PHONE NUMBER: (928) 326-6919 E-MAIL: acody@navajo-nsn.gov
 TITLE OF DOCUMENT: 164 Review - Tonalea Chapter - New Chapter House

DOJ SECRETARY TO COMPLETE

DATE/TIME IN UNIT: 8/21/19 @ 3pm REVIEWING ATTORNEY/ADVOCATE: Rodgerick
 DATE/TIME OUT OF UNIT:

DOJ ATTORNEY / ADVOCATE COMMENTS

legally sufficient because it is a non-recurring expense for use of the
UUFB and also qualifies for use of Siharin Funds. DOJ otherwise

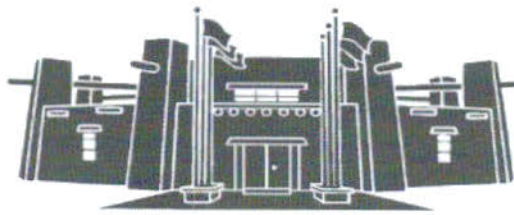
REVIEWED BY: (PRINT)	DATE / TIME	SURNAMED BY: (PRINT)	DATE / TIME
<u>Rodgerick Begay</u>	<u>8-22-19</u>	<u>Rod Begay</u>	<u>8-22-19 11:02a</u>

DOJ Secretary Called: Angie Cody for Document Pick Up on 8/22/19 at 11:45 By: cb

PICKED UP BY: (PRINT) DATE / TIME:

NNDJ/DRRF-July 2013

notes that the total estimate from the Architect is \$3,485,125.⁶⁴ but the Chapter Proposal records it as \$3,000,000.⁶⁰ Additionally, under a prior Siharin award (CAP-35-18), the chapter was awarded \$1,050,000 for a "Government Building" which may or may not be the subject Chapter Building. The Navajo Nation Council may need to review the amount awarded.



MEMORANDUM

TO: Honorable Paul Begay
Coppermine, K'aii'to, LeChee, Tonalea/Red Lake, Bodaway/Gap) Chapters

FROM: Mariana Kahn
Mariana Kahn, Attorney
Office of Legislative Counsel

DATE: August 29, 2019

SUBJECT: A PROPOSED NAVAJO NATION COUNCIL RESOLUTION; AN ACTION RELATING TO BUDGET AND FINANCE COMMITTEE, RESOURCES AND DEVELOPMENT COMMITTEE AND NAABIK'ÍYÁTI' COMMITTEE AND NAVAJO NATION COUNCIL; ALLOCATING \$3,000,000 FROM THE SÍHASIN FUND TO THE DIVISION OF COMMUNITY DEVELOPMENT ON BEHALF OF THE TONALEA CHAPTER AND APPROVING AND ADOPTING THE TONALEA CHAPTER COMMUNITY BUILDING REPLACEMENT FUND EXPENDITURE PLAN PURSUANT 12 N.N.C §§ 2501 – 2508

I have prepared the above-referenced proposed resolution and associated legislative summary sheet pursuant to your request for legislative drafting.

Based on existing law and review of documents submitted, the resolution as drafted is legally sufficient. As with any action of government however, it can be subject to review by the courts in the event of proper challenge. The Office of Legislative Counsel confirms the appropriate standing committee(s) based on the standing committees powers outlined in 2 N.N.C. §§301, 401, 501, 601 and 701. Nevertheless, "the Speaker of the Navajo Nation Council shall introduce [the proposed resolution] into the legislative process by assigning it to the respective oversight committee(s) of the Navajo Nation Council having authority over the matters for proper consideration." 2 N.N.C. §164(A)(5). You are encouraged to review the proposed resolution to ensure that it is drafted to your satisfaction.

THE NAVAJO NATION
LEGISLATIVE BRANCH
INTERNET PUBLIC REVIEW PUBLICATION



LEGISLATION NO: 0262-19

SPONSOR: Paul Begay

TITLE: An Action Relating To Budget And Finance Committee, Resources And Development Committee And NAABIK'IYATI' Committee, And Navajo Nation Council; Allocating \$3,000,000 From The Sihasin Fund To The Division Of Community Development On Behalf Of The Tonalea Chapter And Approving And Adopting The Tonalea Chapter Community Building Replacement Fund Expenditure Plan Pursuant 12 N.N.C §§ 2501 – 2508

Date posted: August 30, 2019 at 5:05 PM

Digital comments may be e-mailed to comments@navajo-nsn.gov

Written comments may be mailed to:

Executive Director
Office of Legislative Services
P.O. Box 3390
Window Rock, AZ 86515
(928) 871-7586

Comments may be made in the form of chapter resolutions, letters, position papers, etc. Please include your name, position title, address for written comments; a valid e-mail address is required. Anonymous comments will not be included in the Legislation packet.

Please note: This digital copy is being provided for the benefit of the Navajo Nation chapters and public use. Any political use is prohibited. All written comments received become the property of the Navajo Nation and will be forwarded to the assigned Navajo Nation Council standing committee(s) and/or the Navajo Nation Council for review. Any tampering with public records are punishable by Navajo Nation law pursuant to 17 N.N.C. §374 *et. seq.*

THE NAVAJO NATION
LEGISLATIVE BRANCH
INTERNET PUBLIC REVIEW SUMMARY

LEGISLATION NO.: 0262-19

SPONSOR: Honorable Paul Begay

TITLE: An Action Relating To Budget And Finance Committee, Resources And Development Committee And Naabik'iyáti' Committee, And Navajo Nation Council; Allocating \$3,000,000 From The Síhasin Fund To The Division Of Community Development On Behalf Of The Tonalea Chapter And Approving And Adopting The Tonalea Chapter Community Building Replacement Fund Expenditure Plan Pursuant 12 N.N.C §§ 2501 – 2508

Posted: August 30, 2019 at 5:05 PM

5 DAY Comment Period Ended: September 4, 2019

Digital Comments received:

Comments Supporting	1) Cindy Covey, Tonalea Community
Comments Opposing	<i>None</i>
Inconclusive Comments	1) Henry Fowler



Legislative Tracking Secretary
Office of Legislative Services

9/5/19 8:26AM

Date/Time

Tonalea Chapter Replacement

Cindy Covey <csjscovey2@gmail.com>

Sun 9/1/2019 8:16 PM

To: comments <comments@navajo-nsn.gov>;

Dear Honorable 24th Navajo Nation Council,

Thank you for providing me the opportunity to provide a comment on

LEGISLATION NO. 0262-19, our Tonalea Chapter replacement building. We have been without a chapter house for quite some time now. We have been meeting in the Tonalea Senior Center, which has a low capacity, providing only space for a few people, which does not allow for many of our community members to attend every chapter meeting and discuss numerous topics and decisions to be made for our community.

On behalf of our Tonalea community, I plead with you to vote in favor, so we can begin finalizing our shovel ready project, which is the first item on our CIP listing.

Thank you so much for your vote and helping us get our new chapter building.

Sincerely,

Cindy S Covey and Tonalea Community.

☺☺☺☺☺

Support

henry fowler <henry_hf@hotmail.com>

Wed 9/4/2019 3:11 PM

To: comments <comments@navajo-nsn.gov>;

Tonalea has been without a Chapter House for years. The community members are meeting at local faith organizations, hay barn, and Tonalea Senior Citizen to have their monthly meeting. The new Chapter House will centralize our local governance and ensure the prosperity of our community.

Warmly,
Henry Fowler

Sent from [Outlook](#)

24th NAVAJO NATION COUNCIL

First Year 2019

Mr. Speaker:

The **BUDGET & FINANCE COMMITTEE** to whom has been assigned

NAVAJO LEGISLATIVE BILL # 0262-19:

An Action Relating to Budget and Finance Committee, Resources and Development Committee and Naabikiyati Committee and Navajo Nation Council; Allocating \$3,000,000 from the Sihasin Fund to the Division of Community Development on Behalf of the Tonalea Chapter and Approving and Adopting the Tonalea Chapter Community Building Replacement Fund Expenditure Plan pursuant to 12 N.N.C. §§ 2501-2508 *Sponsored by Paul Begay, Council Delegate*

has had it under consideration and reports the same with the recommendation that It **Do Pass** without amendment.

And, therefore referred to the **RESOURCES AND DEVELOPMENT** Committee

Respectfully submitted,



Jamie Henio, Chairman

Adopted: 
Legislative Advisor

Not Adopted: _____
Legislative Advisor

10 September 2019

The vote was **4** in favor **0** opposed yeas: *Raymond Smith, Jr., Amber K. Crotty, Nathaniel Brown, Elmer P. Begay*

Main Motion: *Nathaniel Brown*

Second: *Elmer P. Begay*

BUDGET AND FINANCE COMMITTEE

10 September 2019

Special Meeting

VOTE TALLY SHEET:

Legislation No. 0262-19: An Action Relating to Budget and Finance Committee, Resources and Development Committee and Naabikiyati Committee and Navajo Nation Council; Allocating \$3,000,000 from the Sihasin Fund to the Division of Community Development on Behalf of the Tonalea Chapter and Approving and Adopting the Tonalea Chapter Community Building Replacement Fund Expenditure Plan pursuant to 12 N.N.C. §§ 2501-2508 *Sponsored by Paul Begay, Council Delegate*

Motion: Nathaniel Brown

Second: Elmer P. Begay

Vote: 4-0, Chairman not voting

Vote Tally:

Jamie Henio		
Jimmy Yellowhair		
Raymond Smith Jr.	yea	
Elmer P. Begay	yea	
Amber K. Crotty	yea	
Nathaniel Brown	yea	

Absent: Jimmy Yellowhair



Jamie Henio, Chairman
Budget & Finance Committee



Peggy Nakai, Legislative Advisor
Budget & Finance Committee